

MEMBRANE RE-ROOF FOR:

# BLOOMINGTON TRANSIT

ADMINISTRATION AND SERVICE BUILDINGS  
120 WEST GRIMES LANE  
BLOOMINGTON, INDIANA 47401

## DRAWING INDEX

### CIVIL

AS100 EXISTING ARCHITECTURAL SITE PLAN

### ARCHITECTURAL

- AE121 MAINTENANCE BUILDING ROOF PLAN
- AE122 MAINTENANCE BUILDING ROOF PLAN
- AE123 ADMINISTRATION BUILDING ROOF PLAN
- AE301 MAINTENANCE BUILDING EXISTING BUILDING SECTION
- AE501 EXISTING ROOF DETAILS
- AE502 EXISTING ROOF DETAILS
- AE503 TYPICAL ROOF DETAILS
- SK-1 STRUCTURAL STEEL SKETCH

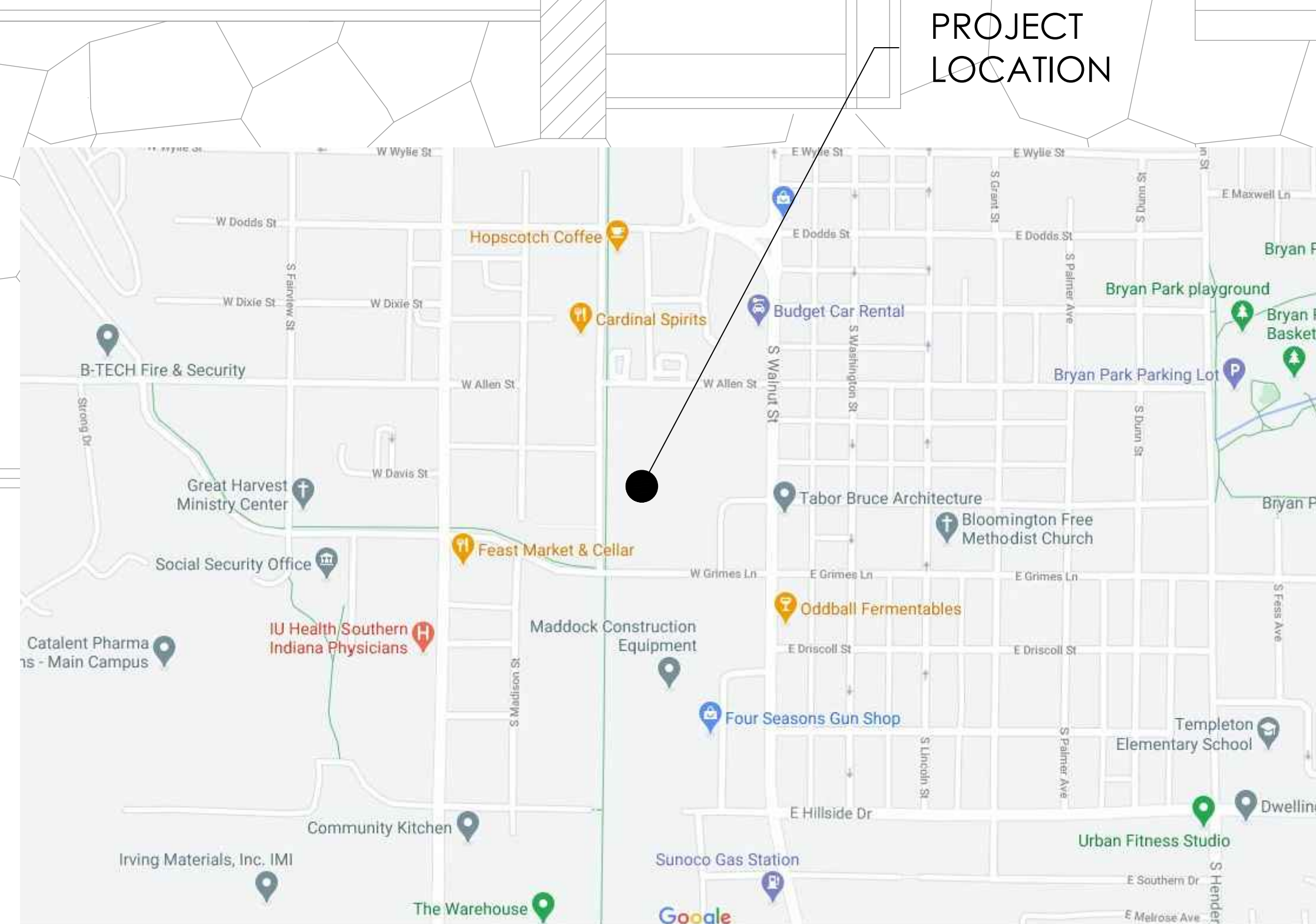
### NOTE:

FIRESTONE ULTRAPLY TPO DETAILS  
HAVE BEEN PROVIDED FOR  
REFERENCE. CONTRACTOR TO  
VERIFY CORRECT FLASHING DETAILS  
WITH TPO MEMBRANE SUPPLIER.

MARCH 2021

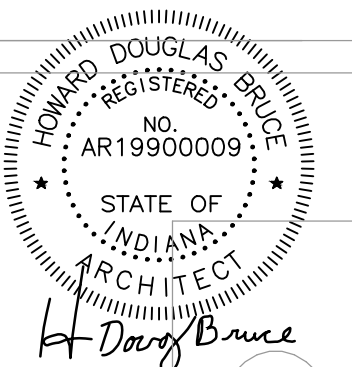
RE-BID

CONSTRUCTION DOCUMENTS



PROJECT  
LOCATION

SEAL



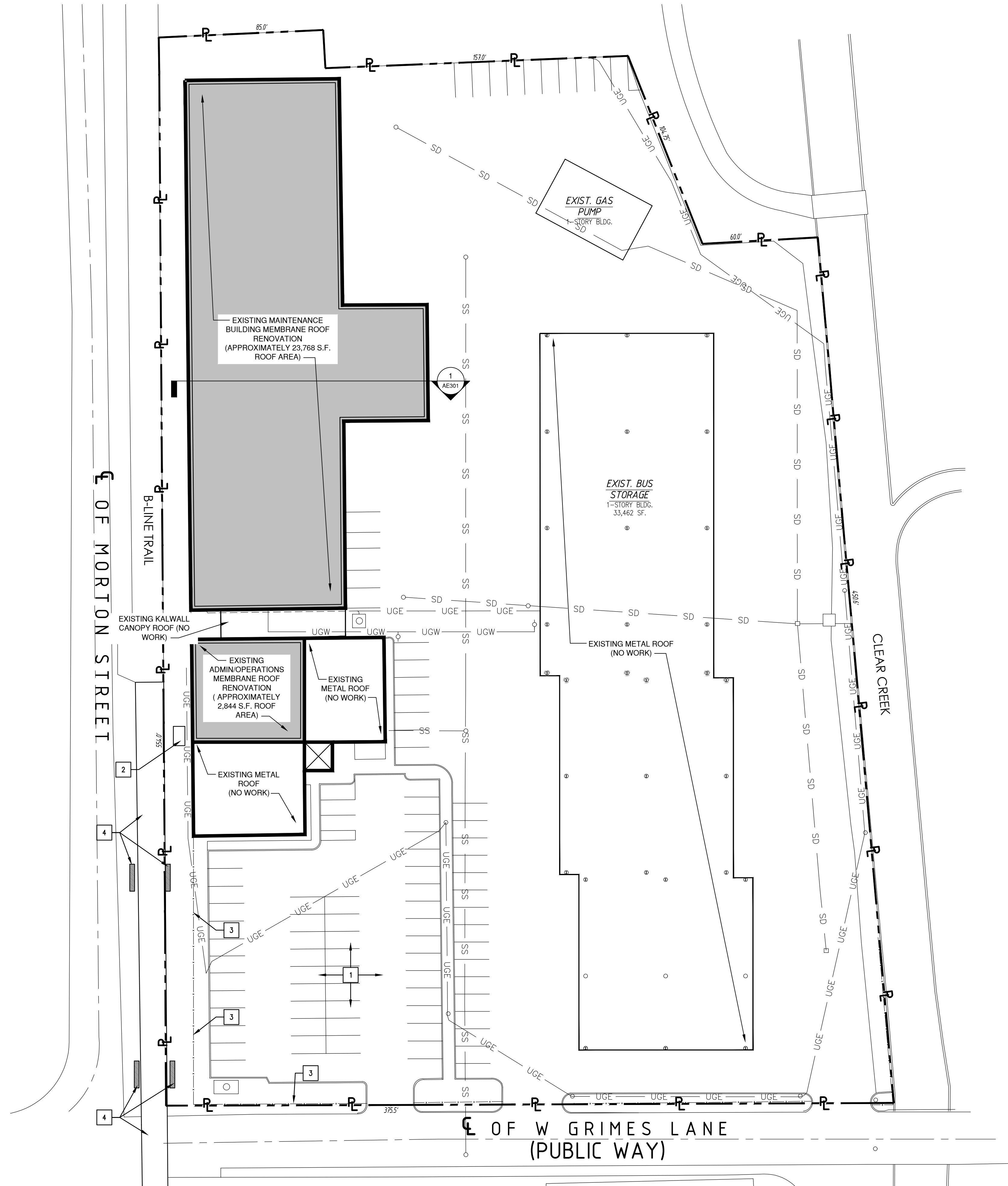
ARCHITECT:



MEMBRANE RE-ROOF FOR:

BLOOMINGTON TRANSIT





**1 EXISTING ARCHITECTURAL SITE PLAN**  
1" = 30'

THIS SITE PLAN HAS BEEN CREATED FROM THE MONROE COUNTY G.I.S. SYSTEM. DISCREPANCIES DO EXIST BETWEEN SOME EXISTING MEASUREMENTS AND G.I.S. SUPPLIED DATA. INFORMATION BASED UPON THE USE OF THESE DRAWINGS SHALL BE VERIFIED WITH A CIVIL ENGINEER OR STAMPED SURVEY. THE ARCHITECT MAKES NO WARRANTIES, EITHER EXPRESSED OR IMPLIED OF THE DATA CONTAINED ON THIS DRAWING.

**SITE PLAN EXISTING/NEW KEYNOTES:**

- 1 EXISTING PARKING TO REMAIN.
- 2 COORDINATE AND VERIFY WITH OWNER LOCATION AND ACCESS OF DUMPSTER.
- 3 EXISTING CHAIN-LINK FENCE TO REMAIN. PROTECT FENCE DURING ALL PHASES OF CONSTRUCTION. DO NOT STORE ITEMS NEXT TO FENCE
- 4 EXISTING B-LINE PEDESTRIAN BRIDGE AND SUPPORTS TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.

**UTILITY NOTES:**

1. MS. : IF SHOWN ON THE PLANS, MINIMUM SEWER ELEVATION, IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER CONNECTION WITHOUT A SPECIAL BLACK WATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO THE UNIFORM PLUMBING CODE.
2. SEE DRAWINGS & SPECIFICATIONS FOR SIZES OF WATER SERVICE LINES AND SEWER LATERALS NOT SPECIFICALLY NOTED ON THE PLANS.
3. ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH THE CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT BYRON REINHOLD AT (812) 349-3627 FOR MORE INFORMATION.
4. WHEN CONNECTING A NEW PIPE TO AN EXISTING MAN HOLE, THE MAN HOLE SHALL BE CORE-DRILLED. PIPE SHALL BE CONNECTED TO THE MAN HOLE BY EITHER A FLEXIBLE BOOT KOR-N-SEAL, 1 OR 2 FLEXIBLE CONNECTOR OR APPROVED EQUAL TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
5. IN ACCORDANCE WITH SECTION 4.5.2.1.5.1 OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE ALL CLEAN-OUTS. THEY SHALL BE IN GRASSY AREAS OR IN PAVEMENT & SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. R-1974-A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL EXTEND AT LEAST 8" BEYOND THE OUTSIDE ON THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. THE TOP OF THE CLEAN-OUT SHALL BE NO MORE THAN 3" BELOW THE TOP OF THE CASTING. A #10 INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE " STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19"
6. WHEREVER C900 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARCO, SIZED FOR C900 ON THE RUN AND SDR-35 ON THE BRANCH; TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO C-900 TO SDR-35 ADAPTER WYES.
7. ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 40 MILS, AND SHALL BE PROTECTED 401, AS MANUFACTURED BY INDIURON PROTECTIVE COATINGS. WYES FOR D.I.P. SHALL BE HARCO D.I.P. TO SDR-35 ADAPTER WYES.
8. A PERMANENT INDICATING VALVE IS TO BE INSTALLED 12" ABOVE THE FLOOR ON THE FIRE LINE AT THE TERMINATING POINT. THIS VALVE WILL BE USED TO HYDROSTATIC PRESSURE TEST AGAINST, AND WILL REMAIN AS PART OF THE SYSTEM ONCE ALL IS COMPLETE. THE LINE WILL NOT BE DISMANTLED FOR CONNECTION TO THE FIRE SUPPRESSION SYSTEM.
9. ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN @ (812) 349-3633 TO SCHEDULE A MEETING.
10. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPT. ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM, OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, & PROPER AS-BUILT MADE. WHEN A CONTRACTOR WILL PERFORM WORK ON A WEEKEND, A CBU DESIGNATED HOLIDAY, OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR SHALL PAY THE INSPECTORS OVERTIME. FOR CBU WORK HOURS & HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPT. @ (812) 349-3660.

**SITE LAYOUT NOTES:**

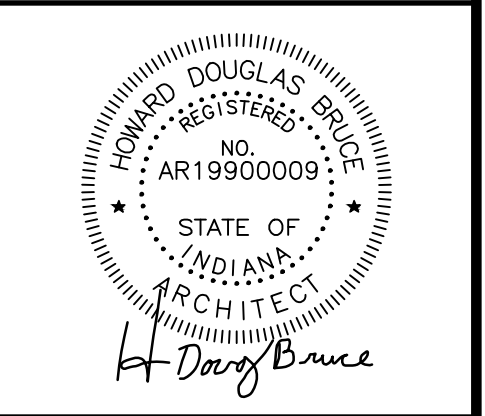
- ALL DIMENSIONS SHOWN ARE MIN.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF FRAMING (U.N.O.)
- DOWNSPOUTS NEED TO CONNECT TO AN UNDERGROUND STORM WATER SYSTEM OR DRAIN TO DAYLIGHT IF ALLOWED.

**GENERAL SITE NOTES:**



REVISIONS  
 0 ISSUED FOR CONSTRUCTION  
 JANUARY 19, 2021  
 1 ISSUED FOR RE-BID  
 MARCH 17, 2021

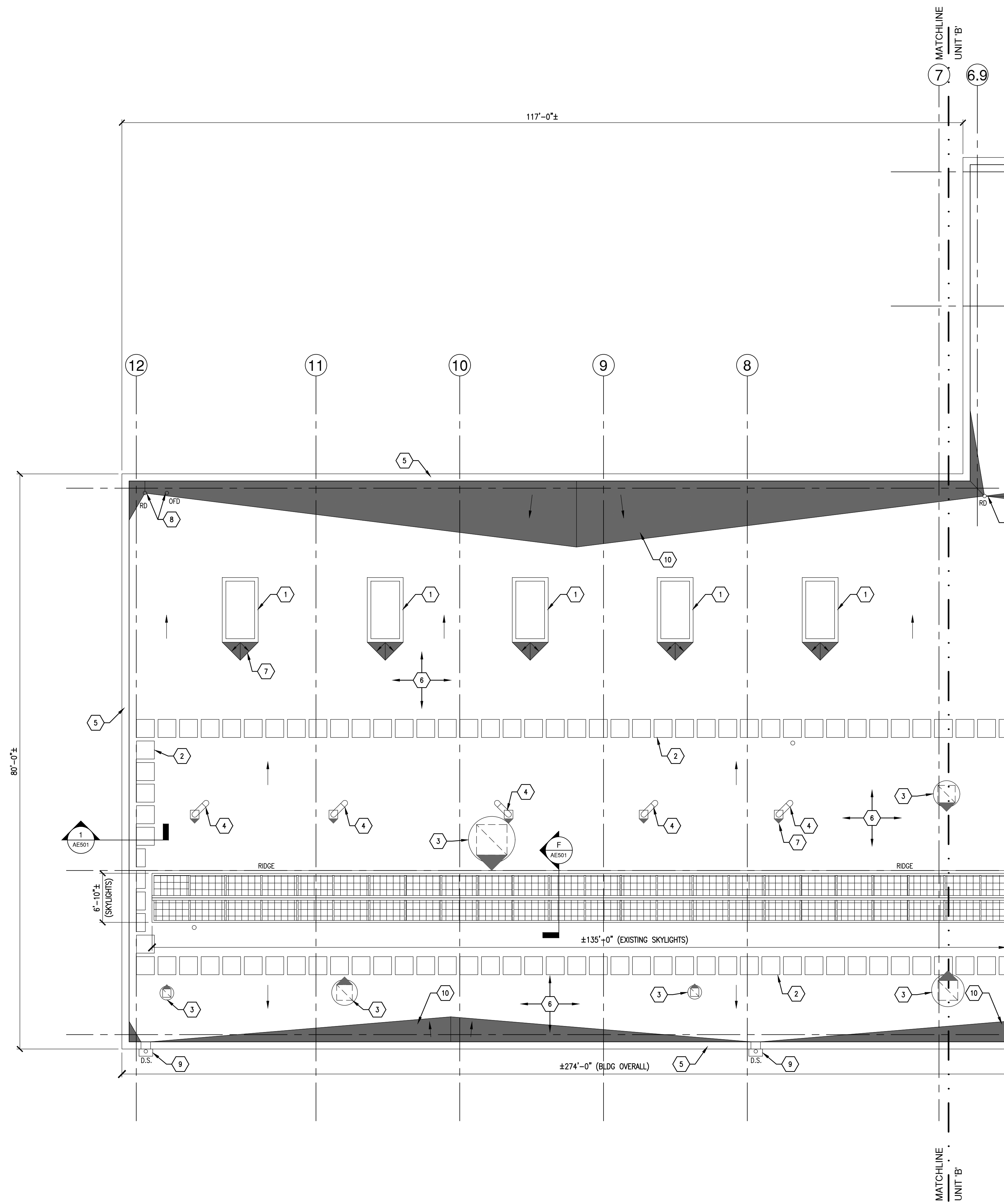
MEMBRANE RE-ROOF FOR:  
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**TRANSIT**  
 ADMINISTRATIVE AND SERVICE I  
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 BLOOMINGTON, INDIANA 47401



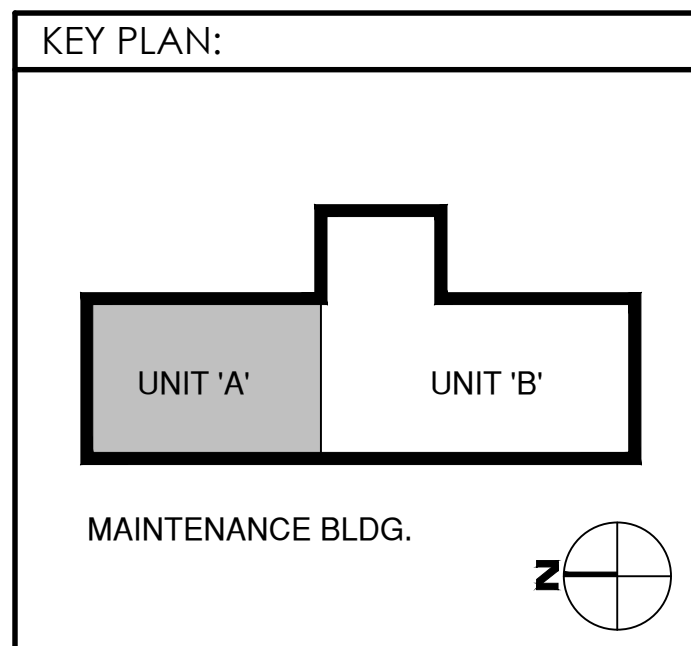
PROJECT NO.	3520
DATE	11.03.2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	EXISTING ARCHITECTURAL SITE PLAN
SHEET NO.	AS100

**AS100**





**1** EXISTING ROOF PLAN - UNIT 'A'  
1/8" = 1'-0"



**ROOF PLAN KEYNOTES:**

- 1 EXISTING SKYLIGHT/SMOKE UNIT VENT (TYPE 2) TO REMAIN. VERIFY NUMBER AND LOCATION.
- 2 EXISTING WALKWAY PADS TO BE REPLACED.
- 3 EXISTING EXHAUST VENTS. VERIFY SIZE, LOCATION AND QUANTITY.
- 4 EXISTING AUTOMOTIVE EXHAUST VENT TO REMAIN.
- 5 EXISTING METAL PARAPET CAP. REMOVE AND REINSTALL AS NEEDED FOR INSTALLATION OF NEW ROOFING MEMBRANE AND FLASHINGS. NOTIFY ARCHITECT IF PARAPET CAP IS DAMAGED.
- 6 EXISTING UNBALLASTED EPDM MEMBRANE ROOF OVER PROTECTION BOARD TO BE REMOVED AND REPLACED. EXISTING RIGID INSULATION TO REMAIN.
- 7 PROVIDE NEW DRAINAGE SADDLES AS NEEDED FOR PROPER DRAINAGE AT ALL ROOF CURBS, TYPICAL.
- 8 EXISTING ROOF AND OVERFLOW DRAINS TO REMAIN. PROVIDE TAPERED INSULATION SADDLES AS NEEDED FOR POSITIVE DRAINAGE.
- 9 EXISTING ROOF SCUPPER TO REMAIN. INSPECT SCUPPER AND CONDUCTOR HEAD FOR DAMAGE. REPAIR OR REPLACE ANY DAMAGED UNITS THAT ARE ENCOUNTERED. PROVIDE NEW SEALANT AND FLASHING AS DIRECTED BY ROOFING MANUFACTURER.
- 10 PROVIDE NEW SLOPED DRAINAGE SADDLE AT ROOF LOW POINTS FOR POSITIVE DRAINAGE.
- 11 EXISTING ROOF HATCH TO REMAIN. PROVIDE PROPER FLASHING.
- 12 INVESTIGATE "SOFT" AREA OF ROOF DURING DEMOLITION. INFORM ARCHITECT OF ANY DAMAGE ENCOUNTERED.
- 13 CAREFULLY REMOVE EXISTING METAL WALL PANELS AS NEEDED TO PROPERLY FLASH NEW ROOF MEMBRANE.

**TYPICAL ROOF WORK NOTES:**

- BEFORE BEGINNING NEW ROOF INSTALLATION WORK, CONTRACTOR SHALL PROVIDE A DRAINAGE PLAN, SHOW PROPOSED ROOF SLOPES, AND SADDLES TO ARCHITECT FOR APPROVAL.
- REMOVE ALL EXISTING ROOFING MEMBRANE, COVER/PROTECTION BOARD AND RESIDUE. ALL EXISTING ROOF INSULATION SHALL REMAIN UNLESS DAMAGED. VERIFY NO PROJECTIONS EXISTING TO PREVENT NEW ROOFING MATERIALS FROM LAYING FLAT.
- APPLY, ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, NEW 60 MIL WHITE TPO FULLY ADHERED MEMBRANE ROOFING (25 YEAR WARRANTY, MIN.) ON BOTH BUILDINGS. INCLUDE ALL WORK TO REMOVE AND REINSTALL ALL COPINGS AT PARAPETS, ALL ROOFTOP FLASHING AT WALLS, SKYLIGHTS, EXHAUST VENTS, PLUMBING VENTS, ALL ROOF PENETRATIONS AND AT ALL ROOF MOUNTED MECHANICAL EQUIPMENT. REMOVE AND REINSTALL EXISTING MATERIALS AS NEEDED. INSTALL FLASHING AT ALL CURBS AND WALLS WITH TERMINATION BARS AND COUNTERFLASHING AS NEEDED.
- INSTALL NEW 1/2" (MINIMUM) COVER BOARD OVER EXISTING INSULATION TO REMAIN, THROUGHOUT BOTH BUILDINGS, PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL NEW SCUPPER BOOTS AT ALL EXISTING ROOF SCUPPERS AND FLASH PER MANUFACTURER'S INSTRUCTIONS.

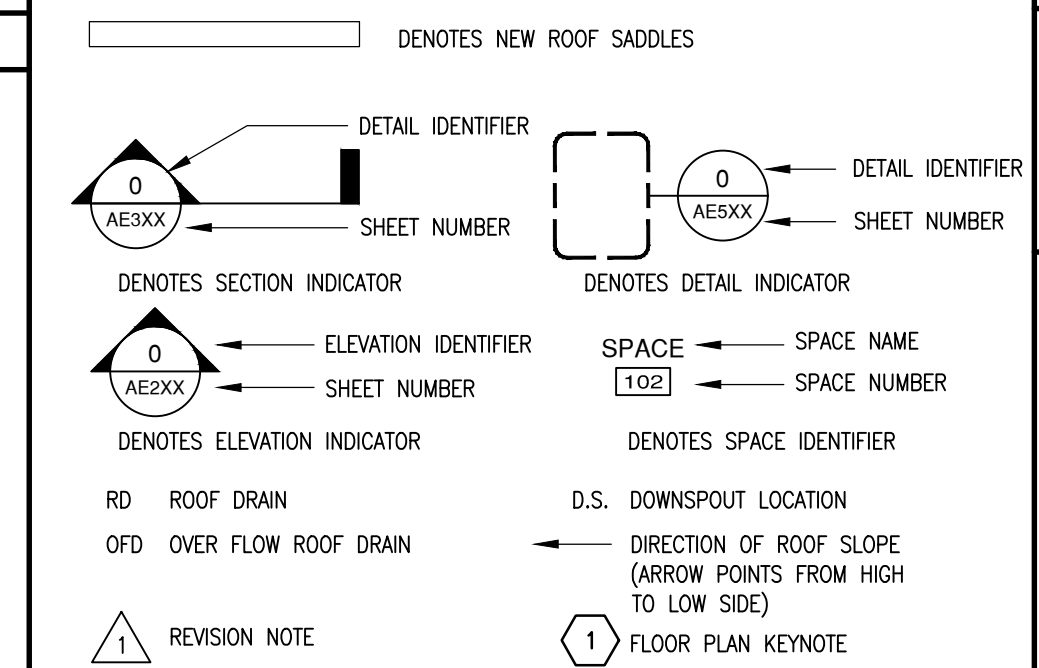
**TYPICAL ROOF NOTES:**

1. ALL DIMENSIONS ON THE ROOF PLAN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ACCURATE FIELD MEASUREMENTS FOR THE EXECUTION OF THE WORK AND PRIOR TO ANY FABRICATION OF THE VARIOUS MATERIALS.
2. LOCATION AND QUANTITY OF ALL ROOF DRAINS, FLUES, VENTS, EXHAUSTS AND SKYLIGHTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
3. DEMOLITION AND REMOVAL OPERATIONS ARE TO BE PERFORMED CAREFULLY AND ALL PORTIONS OF THE BUILDING SHALL BE PROTECTED DURING THESE OPERATIONS. ALL ITEMS TO BE REUSED AND REINSTALLED ARE TO BE CAREFULLY REMOVED AND STORED. DAMAGE INCURRED DURING REMOVAL OR STORAGE AND REINSTALLATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. FLASHING OF ALL VENTS, CURBS, METAL WALK, FLUES, SKYLIGHTS, DRAINS, FASCIAS, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS.
5. REMOVE ALL EXISTING RESIDUE AND PROJECTIONS WHICH WOULD PREVENT THE NEW ROOFING MEMBRANE FROM LAYING FLAT OVER THE EXISTING ROOF SURFACE.
6. CAREFULLY REMOVE EXISTING VERTICAL METAL WALL PANELS AS NEEDED TO PROPERLY FLASH NEW ROOF MEMBRANE.

**GENERAL ROOF PLAN NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REPEATED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & DRAWINGS, & BOTH ARE INTENDED TO BE COMPLEMENTARY. ANYTHING APPEARING ON EITHER MUST BE EXECUTED THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE, HOWEVER SYSTEMS HAVE BEEN SHOWN DIAGRAMMATICALLY & IN SOME CASES, ENLARGED FOR CLARITY. PROVIDE ADD'L ITEMS AS REQ'D. TO PROVIDE A COMPLETE & COORDINATED SYSTEM.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLDG. & ROOF DAILY.
- STORE VOLATILE OR FLAMMABLE LIQUIDS IN UL LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG. FROM ELEMENTS OF WEATHER @ ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK & TRAFFIC BY VARIOUS TRADES SHALL BE PROTECTED BY TEMPORARY WALKING PADS.
- PROVIDE TR. WD. BLOCKING EQ. IN THICKNESS TO INSUL. SYSTEM @ ROOF PERIMETER & AROUND ALL ROOF PENETRATIONS. ANCHOR PER SECTION 1-49 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MIN. OF 12" OF HT. FROM TOP OF INSUL. ALL FITTINGS TO BE AIR & WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSUL. SADDLES & CRICKETS ARE DIAGRAMMATIC. ROOF INSUL. MFG'S. SHALL DESIGN & SIZE THESE PER ROOF MEMBRANE MFG'S. RECOMMENDATIONS. CRICKETS & SADDLES TO BE A MIN. WIDTH OF 1/2 THE SADDLE LENGTH.
- PROVIDE SADDLES/CRICKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE TAPERED INSUL. WHERE REQ'D. TO TRANSITION FROM ONE INSUL. HT. TO ANOTHER.
- NOTCH ALL INSUL. AS REQ'D. TO ACCOMMODATE SURFACE MTD. CONDUIT, FASTENERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERIMETER EDGE MTL. TO COMPLY WITH ANS/SPRI ES-1 FM GLOBAL 1-49.
- SEE MECHANICAL, ELECTRICAL & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.

**SYMBOLS LEGEND:**



**TABOR BRUCE**  
ARCHITECTURE & DESIGN INC.  
1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401  
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM

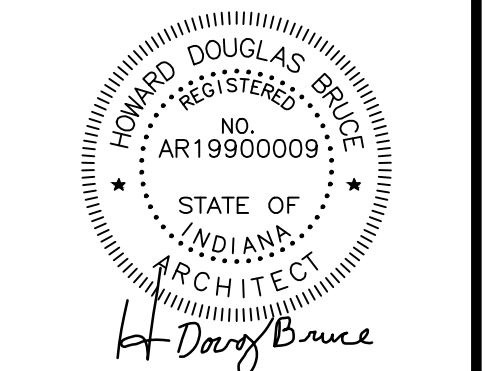
**REVISIONS**

0	ISSUED FOR CONSTRUCTION	JANUARY 19, 2021
1	ISSUED FOR RE-BID	MARCH 17, 2021

MEMBRANE RE-ROOF FOR:

**BLOOMINGTON TRANSIT**

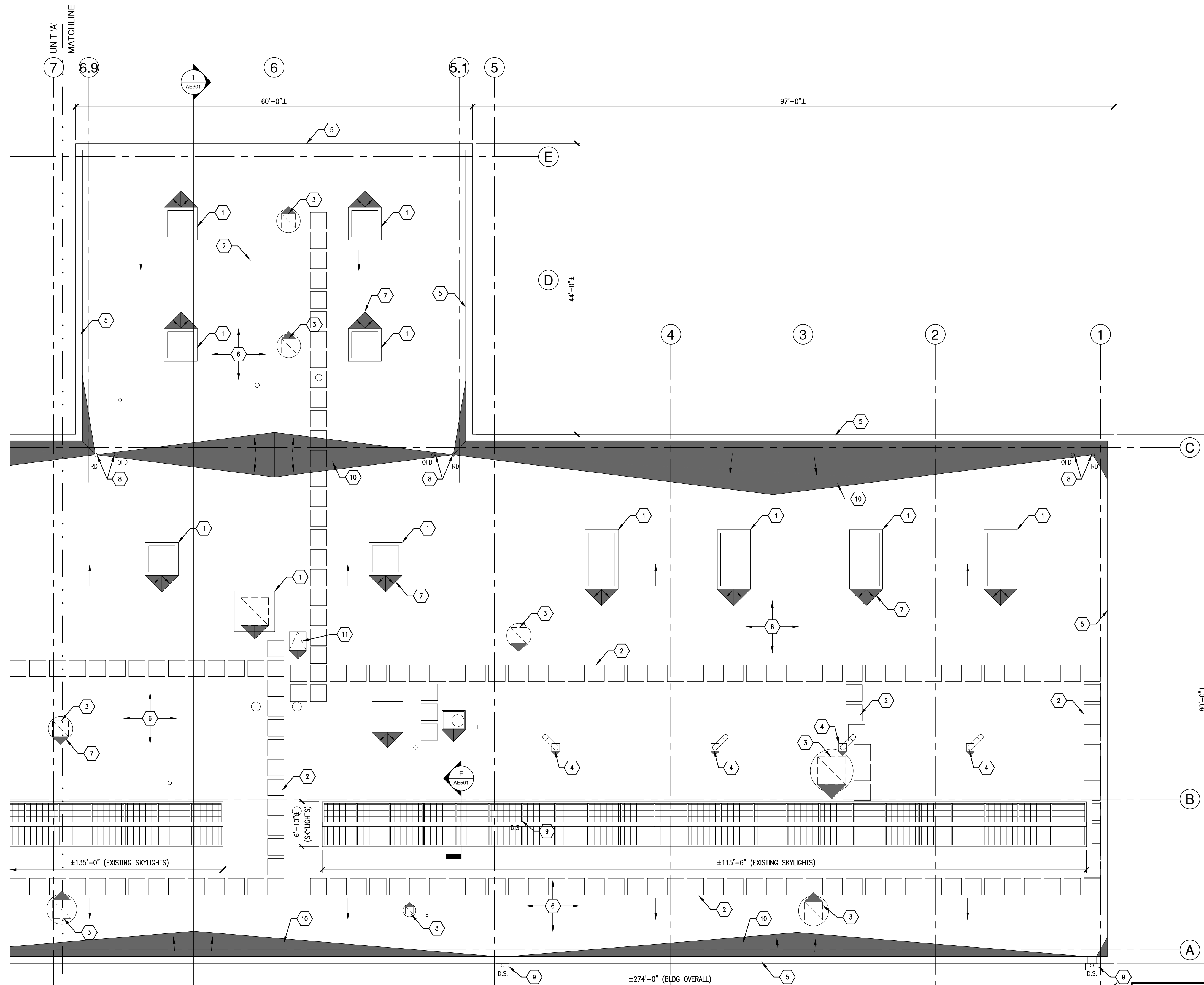
ADMINISTRATIVE AND SERVICE 1  
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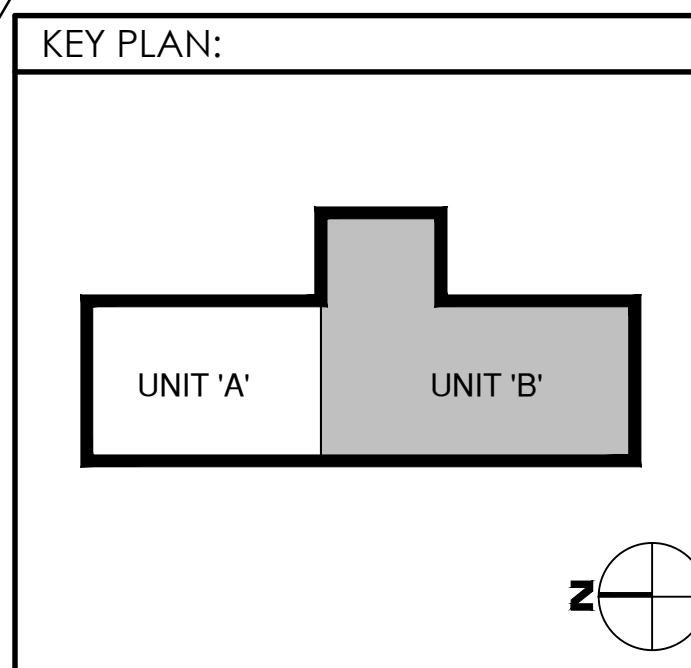
PROJECT NO.	3520
DATE	11.03.2020
DRAWN BY	A. LAMBERT
CHECKED BY	D. BRUCE

**MAINTENANCE BUILDING ROOF PLAN**

SHEET NO. **AE121**



**1 EXISTING ROOF PLAN - UNIT 'B'**  
1/8" = 1'-0"



**ROOF PLAN KEYNOTES:**

- 1 EXISTING SKYLIGHT/SMOKE UNIT VENT (TYPE 2) TO REMAIN. VERIFY NUMBER AND LOCATION.
- 2 EXISTING WALKWAY PADS TO BE REPLACED.
- 3 EXISTING EXHAUST VENTS. VERIFY SIZE, LOCATION AND QUANTITY.
- 4 EXISTING AUTOMOTIVE EXHAUST VENT TO REMAIN.
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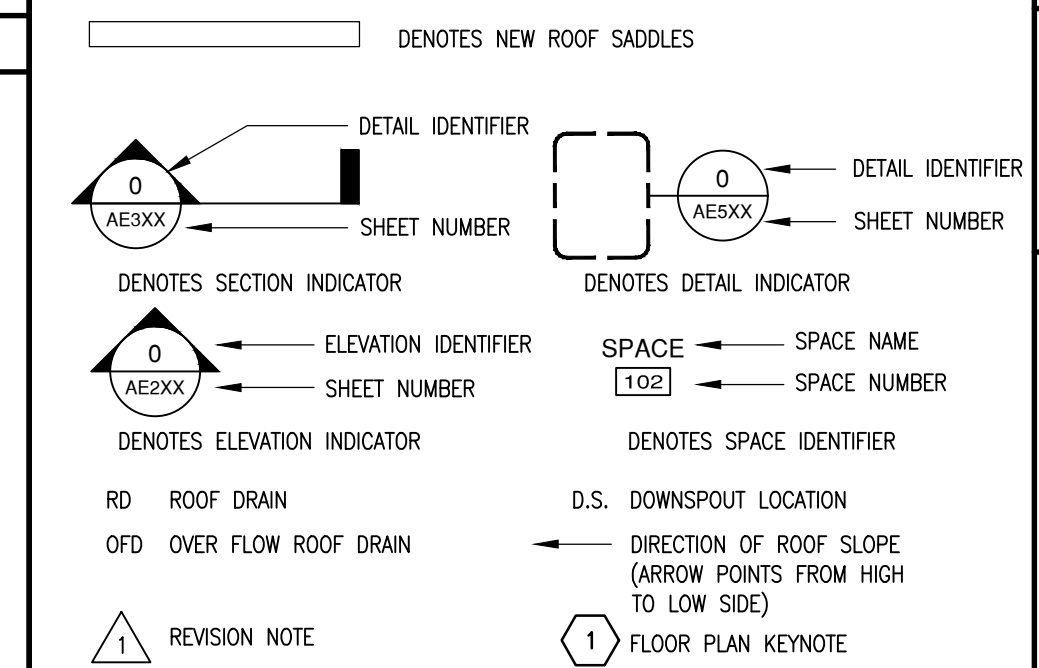
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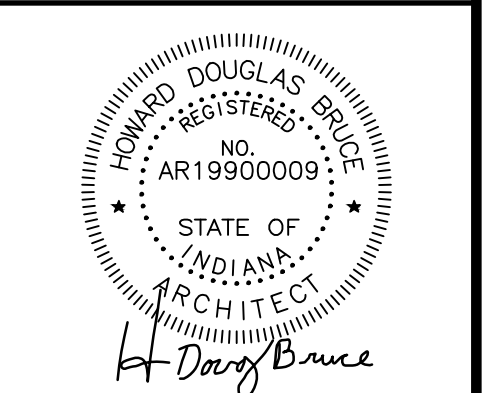
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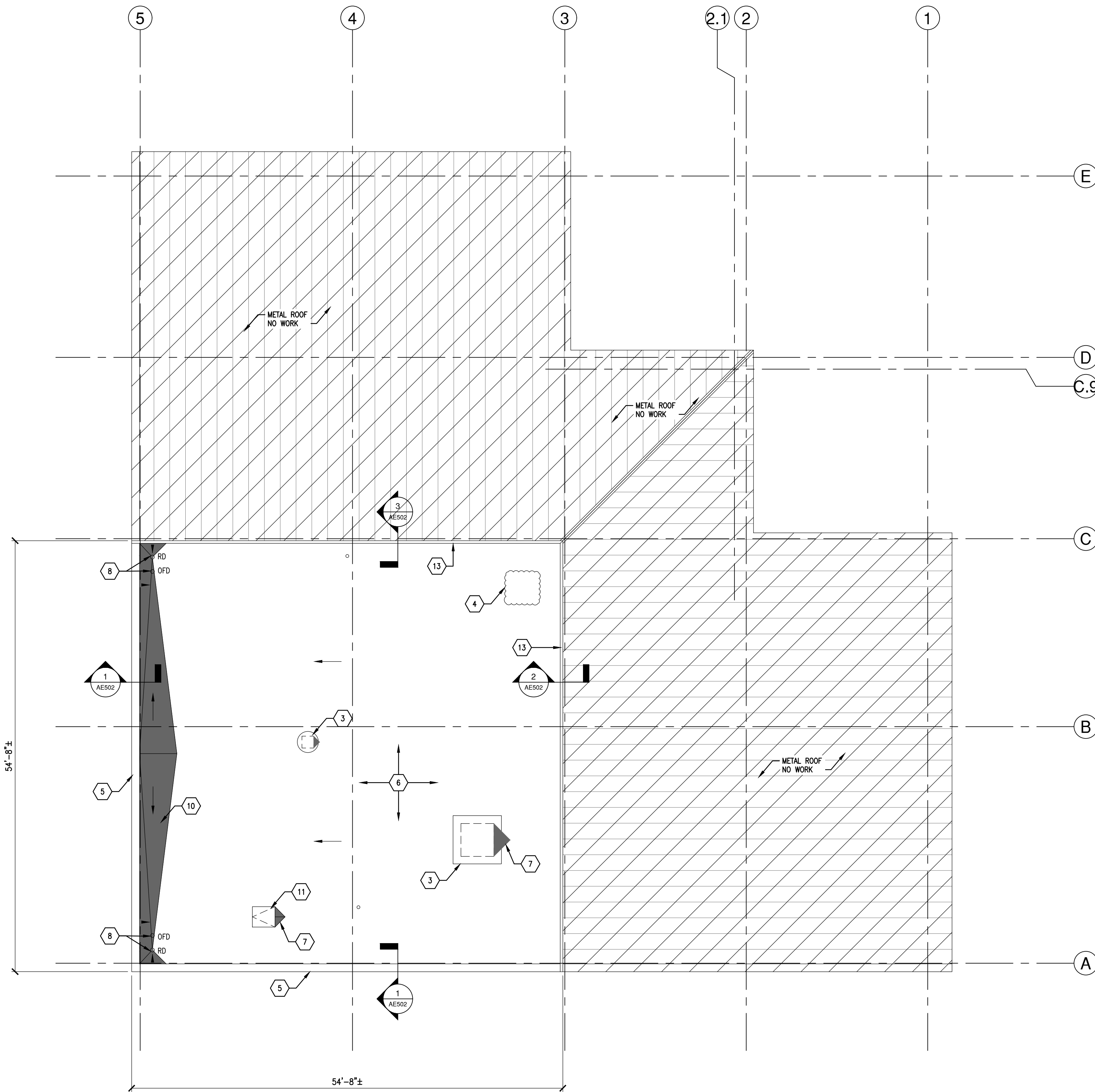


PROJECT NO. 3520  
 DATE 11.03.2020  
 DRAWN BY A. LAMBERT  
 CHECKED BY D. BRUCE

SHEET NAME  
**MAINTENANCE BUILDING ROOF PLAN**  
 SHEET NO.

**AE122**





**1** EXISTING ROOF PLAN - ADMINISTRATION BLDG.  
1/8" = 1'-0"

**ROOF PLAN KEYNOTES:**

- 1 EXISTING SKYLIGHT/SMOKE UNIT VENT (TYPE 2) TO REMAIN. VERIFY NUMBER AND LOCATION.
- 2 EXISTING WALKWAY PADS TO BE REPLACED.
- 3 EXISTING EXHAUST VENTS. VERIFY SIZE, LOCATION AND QUANTITY.
- 4 EXISTING AUTOMOTIVE EXHAUST VENT TO REMAIN.
- 5 EXISTING METAL PARAPET CAP. REMOVE AND REINSTALL AS NEEDED FOR INSTALLATION OF NEW ROOFING MEMBRANE AND FLASHINGS. NOTIFY ARCHITECT IF PARAPET CAP IS DAMAGED.
- 6 EXISTING UNBALLASTED EPDM MEMBRANE ROOF OVER PROTECTION BOARD TO BE REMOVED AND REPLACED. EXISTING RIGID INSULATION TO REMAIN.
- 7 PROVIDE NEW DRAINAGE SADDLES AS NEEDED FOR PROPER DRAINAGE AT ALL ROOF CURBS, TYPICAL.
- 8 EXISTING ROOF AND OVERFLOW DRAINS TO REMAIN. PROVIDE TAPERED INSULATION SADDLES AS NEEDED FOR POSITIVE DRAINAGE.
- 9 EXISTING ROOF SCUPPER TO REMAIN. INSPECT SCUPPER AND CONDUCTOR HEAD FOR DAMAGE. REPAIR OR REPLACE ANY DAMAGED UNITS THAT ARE ENCOUNTERED. PROVIDE NEW SEALANT AND FLASHING AS DIRECTED BY ROOFING MANUFACTURER.
- 10 PROVIDE NEW SLOPED DRAINAGE SADDLE AT ROOF LOW POINTS FOR POSITIVE DRAINAGE.
- 11 EXISTING ROOF HATCH TO REMAIN. PROVIDE PROPER FLASHING.
- 12 INVESTIGATE "SOFT" AREA OF ROOF DURING DEMOLITION. INFORM ARCHITECT OF ANY DAMAGE ENCOUNTERED.
- 13 CAREFULLY REMOVE EXISTING METAL WALL PANELS AS NEEDED TO PROPERLY FLASH NEW ROOF MEMBRANE.

**TYPICAL ROOF WORK NOTES:**

- BEFORE BEGINNING NEW ROOF INSTALLATION WORK, CONTRACTOR SHALL PROVIDE A DRAINAGE PLAN, SHOW PROPOSED ROOF SLOPES, AND SADDLES TO ARCHITECT FOR APPROVAL.
- REMOVE ALL EXISTING ROOFING MEMBRANE, COVER/PROTECTION BOARD AND RESIDUE. ALL EXISTING ROOF INSULATION SHALL REMAIN UNLESS DAMAGED. VERIFY NO PROJECTIONS EXISTING TO PREVENT NEW ROOFING MATERIALS FROM LAYING FLAT.
- APPLY, ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, NEW 60 MIL WHITE TPO FULLY ADHERED MEMBRANE ROOFING (25 YEAR WARRANTY, MIN.) ON BOTH BUILDINGS. INCLUDE ALL WORK TO REMOVE AND REINSTALL ALL COPINGS AT PARAPETS, ALL ROOFTOP FLASHING AT WALLS, SKYLIGHTS, EXHAUST VENTS, PLUMBING VENTS, ALL ROOF PENETRATIONS AND AT ALL ROOF MOUNTED MECHANICAL EQUIPMENT. REMOVE AND REINSTALL EXISTING MATERIALS AS NEEDED. INSTALL FLASHING AT ALL CURBS AND WALLS WITH TERMINATION BARS AND COUNTERFLASHING AS NEEDED.
- INSTALL NEW 1/2" (MINIMUM) COVER BOARD OVER EXISTING INSULATION TO REMAIN, THROUGHOUT BOTH BUILDINGS, PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL NEW SCUPPER BOOTS AT ALL EXISTING ROOF SCUPPERS AND FLASH PER MANUFACTURER'S INSTRUCTIONS.

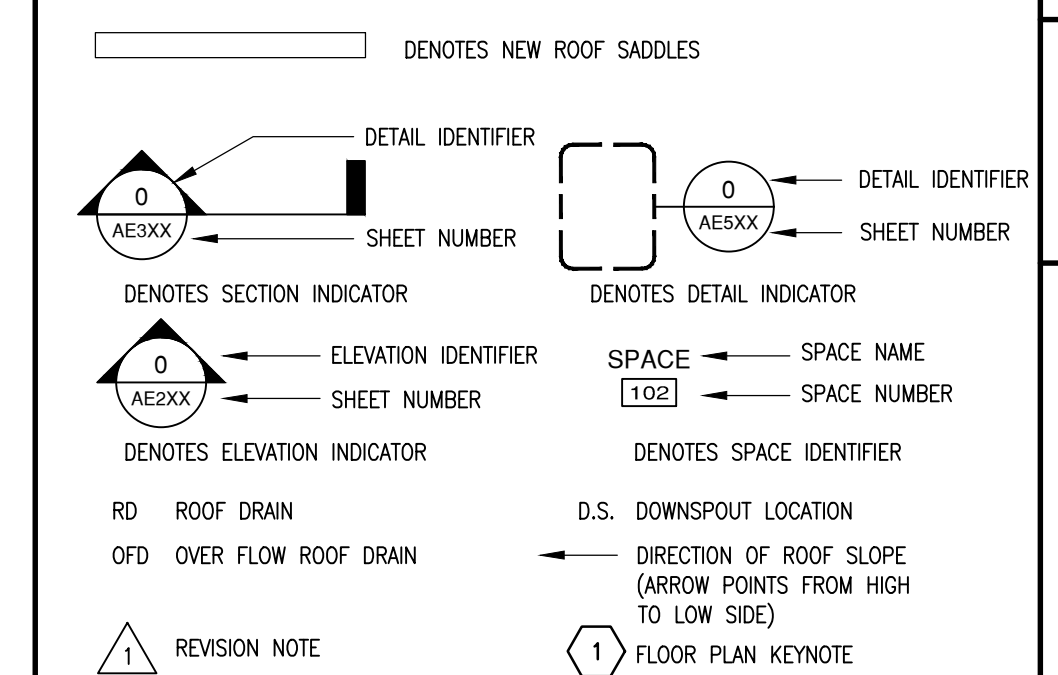
**TYPICAL ROOF NOTES:**

1. ALL DIMENSIONS ON THE ROOF PLAN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ACCURATE FIELD MEASUREMENTS FOR THE EXECUTION OF THE WORK AND PRIOR TO ANY FABRICATION OF THE VARIOUS MATERIALS.
2. LOCATION AND QUANTITY OF ALL ROOF DRAINS, FLUES, VENTS, EXHAUSTS AND SKYLIGHTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
3. DEMOLITION AND REMOVAL OPERATIONS ARE TO BE PERFORMED CAREFULLY AND ALL PORTIONS OF THE BUILDING SHALL BE PROTECTED DURING THESE OPERATIONS. ITEMS TO BE REUSED AND REINSTALLED ARE TO BE CAREFULLY REMOVED AND STORED. DAMAGE INCURRED DURING REMOVAL OR STORAGE AND REINSTALLATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. FLASHING OF ALL VENTS, CURBS, METAL WALK, FLUES, SKYLIGHTS, DRAINS, FASCIAS, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE ROOFING MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS.
5. REMOVE ALL EXISTING RESIDUE AND PROJECTIONS WHICH WOULD PREVENT THE NEW ROOFING MEMBRANE FROM LAYING FLAT OVER THE EXISTING ROOF SURFACE.
6. CAREFULLY REMOVE EXISTING VERTICAL METAL WALL PANELS AS NEEDED TO PROPERLY FLASH NEW ROOF MEMBRANE.

**GENERAL ROOF PLAN NOTES:**

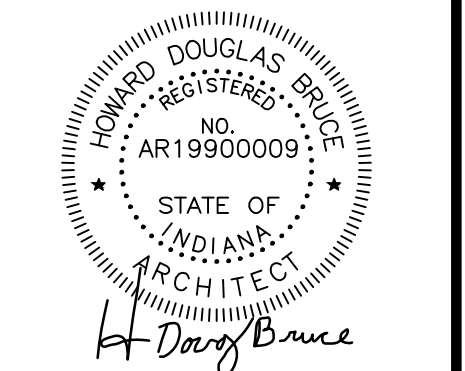
- ALL WORK SHALL BE IN ACCORDANCE W/ THE BEST QUALITY STANDARDS OF THE TRADE & SHALL CONFORM W/ THE LATEST EDITION OF ALL FEDERAL, STATE, & LOCAL CODES & STANDARDS. THE SAME ARE MADE A PART OF THESE CONTRACT DOCUMENTS, AS REPEATED HEREIN.
- CONTRACT DOCUMENTS CONSIST OF BOTH THE PROJECT MANUAL & DRAWINGS, & BOTH ARE INTENDED TO BE COMPLIMENTARY. ANYTHING APPEARING ON EITHER MUST BE EXECUTED THE SAME AS IF SHOWN ON BOTH.
- CONSTRUCTION DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE, HOWEVER SYSTEMS HAVE BEEN SHOWN DIAGRAMMATICALLY & IN SOME CASES, ENLARGED FOR CLARITY. PROVIDE ADD'L ITEMS AS REQ'D. TO PROVIDE A COMPLETE & COORDINATED SYSTEM.
- CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM THE BLDG. & ROOF DAILY.
- STORE VOLATILE OR FLAMMABLE LIQUIDS IN UL LISTED FIRE CABINETS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF ALL STORED MATERIALS & EQUIP. INSIDE OR OUTSIDE THE BLDG.
- CONTRACTOR SHALL FURNISH NECESSARY TEMPORARY PROTECTION FROM WEATHER TO PROTECT INTERIOR OF BLDG. FROM ELEMENTS OF WEATHER @ ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC PROTECTION DURING CONSTRUCTION. AREAS OF WORK & TRAFFIC BY VARIOUS TRADES SHALL BE PROTECTED BY TEMPORARY WALKING PADS.
- PROVIDE TR. WD. BLOCKING EQ. IN THICKNESS TO INSUL. SYSTEM @ ROOF PERIMETER & AROUND ALL ROOF PENETRATIONS. ANCHOR PER SECTION 1-49 OF THE FM GLOBAL LOSS PREVENTION GUIDE.
- EXTEND ALL PLUMBING VENTS TO PROVIDE A MIN. OF 12" OF HT. FROM TOP OF INSUL. ALL FITTINGS TO BE AIR & WATER TIGHT. SEE PLUMBING PLANS.
- ROOF INSUL. SADDLES & CRICKETS ARE DIAGRAMMATIC. ROOF INSUL. MFG'S. SHALL DESIGN & SIZE THESE PER ROOF MEMBRANE MFG'S. RECOMMENDATIONS. CRICKETS & SADDLES TO BE A MIN. WIDTH OF 1/2 THE SADDLE LENGTH.
- PROVIDE SADDLES/CRICKETS AROUND ALL NEW ROOF TOP EQUIPMENT.
- PROVIDE TAPERED INSUL. WHERE REQ'D. TO TRANSITION FROM ONE INSUL. HT. TO ANOTHER.
- NOTCH ALL INSUL. AS REQ'D. TO ACCOMMODATE SURFACE MTD. CONDUIT, FASTENERS, OFFSETS & OTHER PROJECTIONS EXTENDING ABOVE THE SURFACE OF THE DECK.
- PERIMETER EDGE MTL. TO COMPLY WITH ANSI/SPRI ES-1 FM GLOBAL 1-49.
- SEE MECHANICAL, ELECTRICAL & PLUMBING (MEP) SHEETS FOR ROOF TOP EQUIP.

**SYMBOLS LEGEND:**



REVISIONS  
 0 ISSUED FOR CONSTRUCTION JANUARY 19, 2021  
 1 ISSUED FOR RE-BID MARCH 17, 2021

MEMBRANE RE-ROOF FOR:  
**BLOOMINGTON TRANSIT**  
 ADMINISTRATIVE AND SERVICE I  
 120 WEST GRIMES LANE  
 BLOOMINGTON, INDIANA 47401



PROJECT NO. 3520  
 DATE 11.03.2020  
 DRAWN BY A. LAMBERT  
 CHECKED BY D. BRUCE

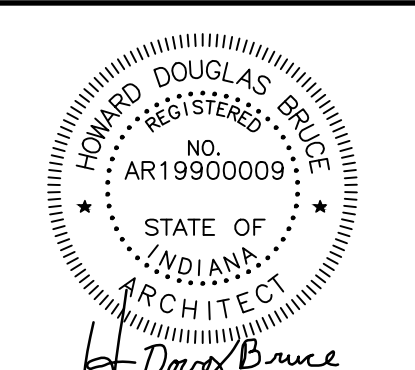
ADMINISTRATION BUILDING ROOF PLAN  
 SHEET NO.

**AE123**



REVISIONS
0 ISSUED FOR CONSTRUCTION JANUARY 19, 2021
1 ISSUED FOR RE-BID MARCH 17, 2021

MEMBRANE RE-ROOF FOR:  
**BLOOMINGTON TRANSIT**  
ADMINISTRATIVE AND SERVICE I  
120 WEST GRIMES LANE  
BLOOMINGTON, INDIANA 47401

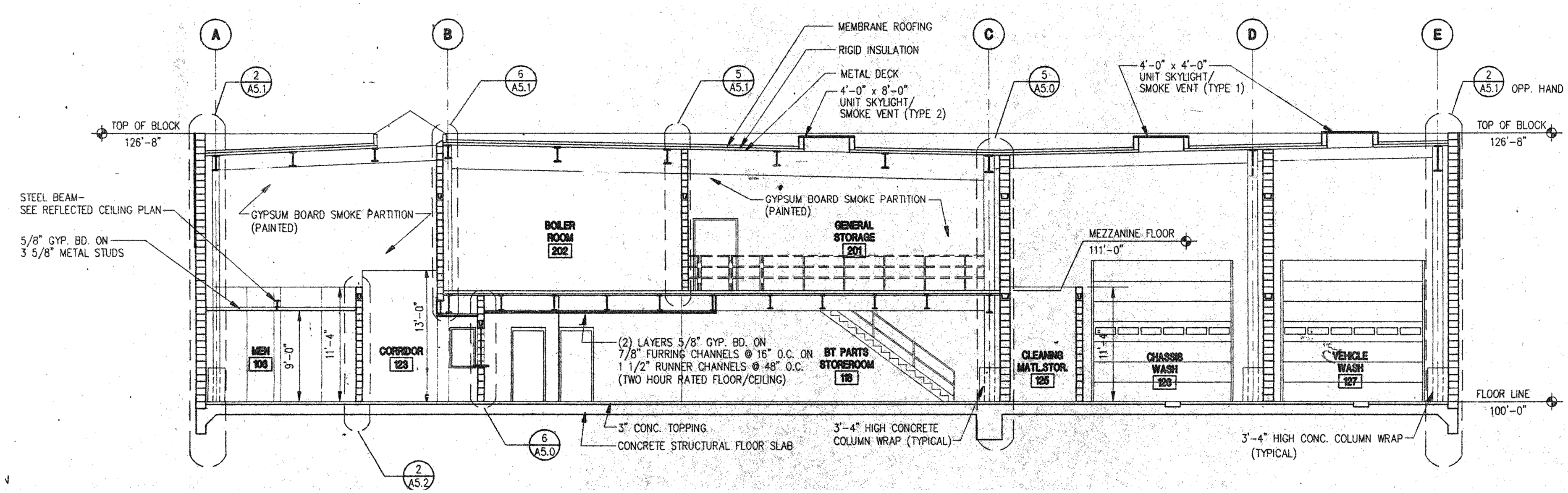


PROJECT NO.	3520
DATE	11.03.2020
DRAWN BY	DRAWN BY
CHECKED BY	D. BRUCE

SHEET NAME  
**BUILDING SECTION**

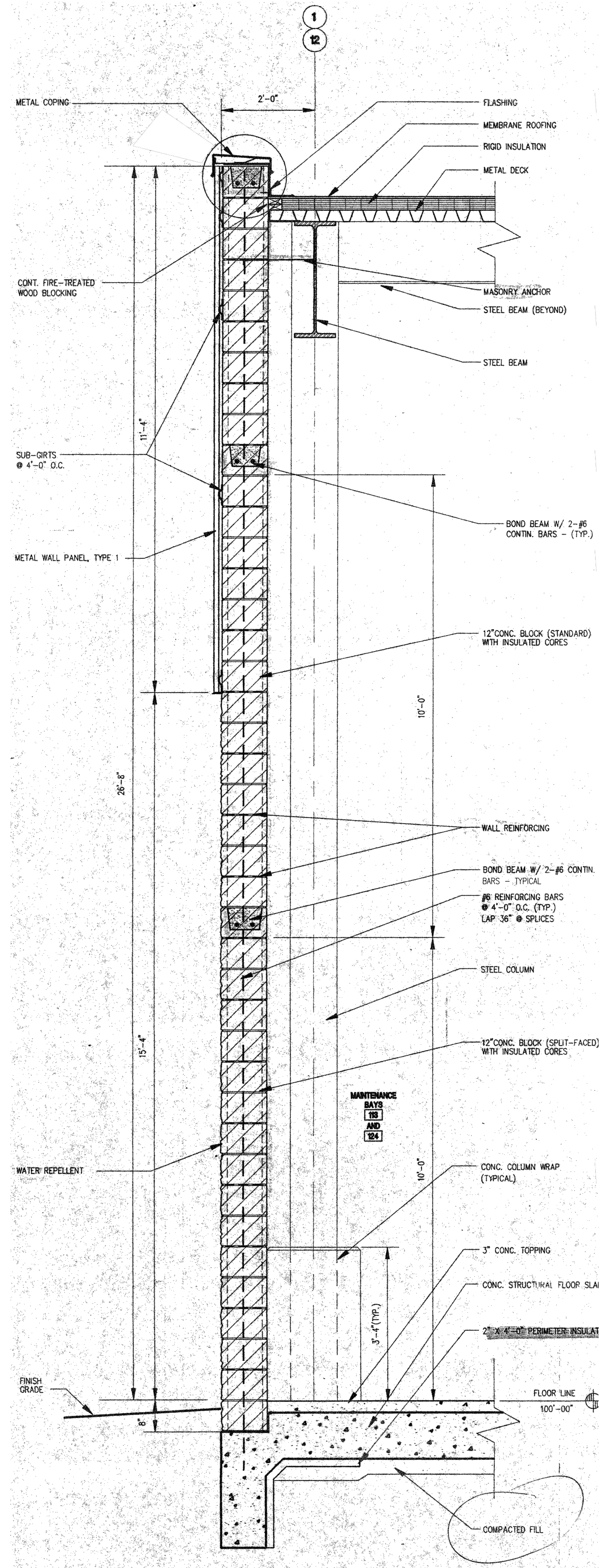
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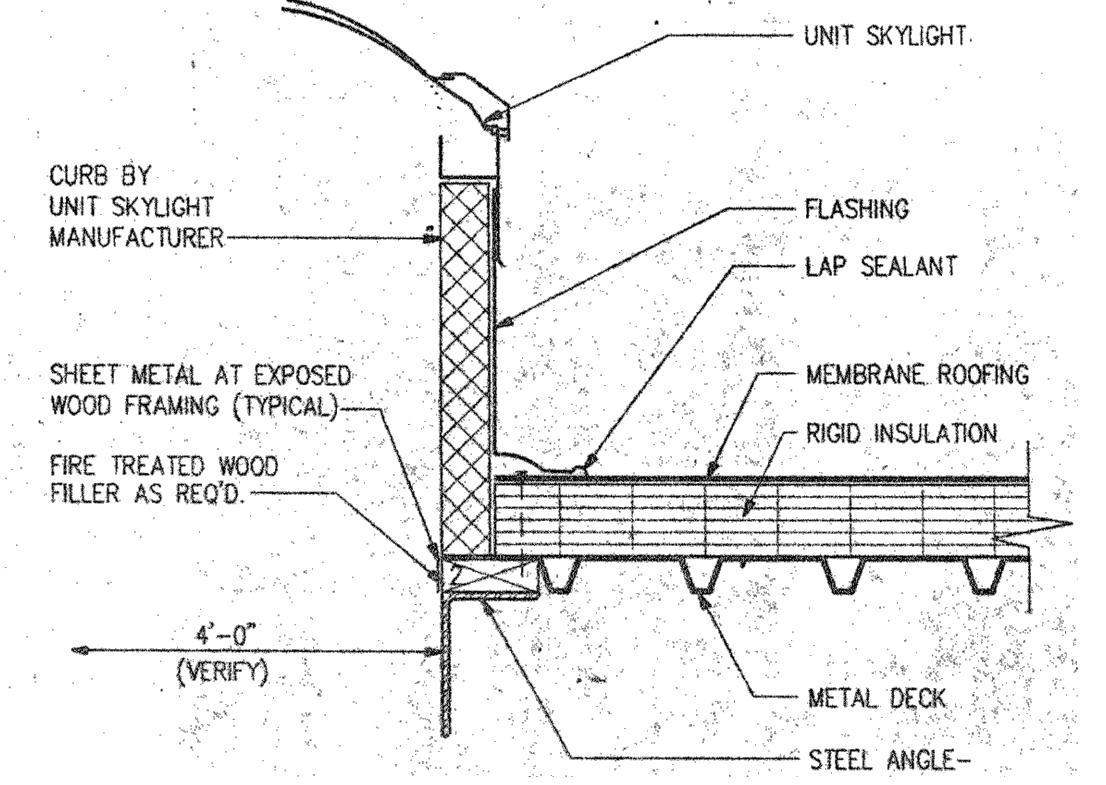


**1** MAINTENANCE BLDG. - BUILDING SECTION  
1/8" = 1'-0"

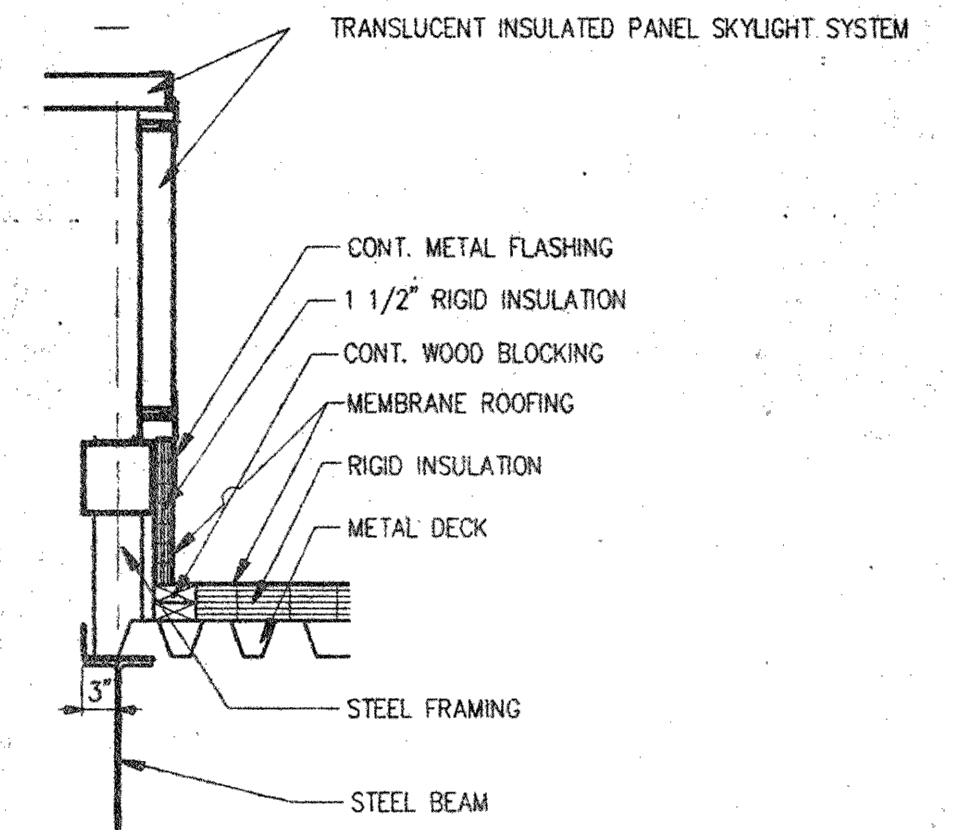




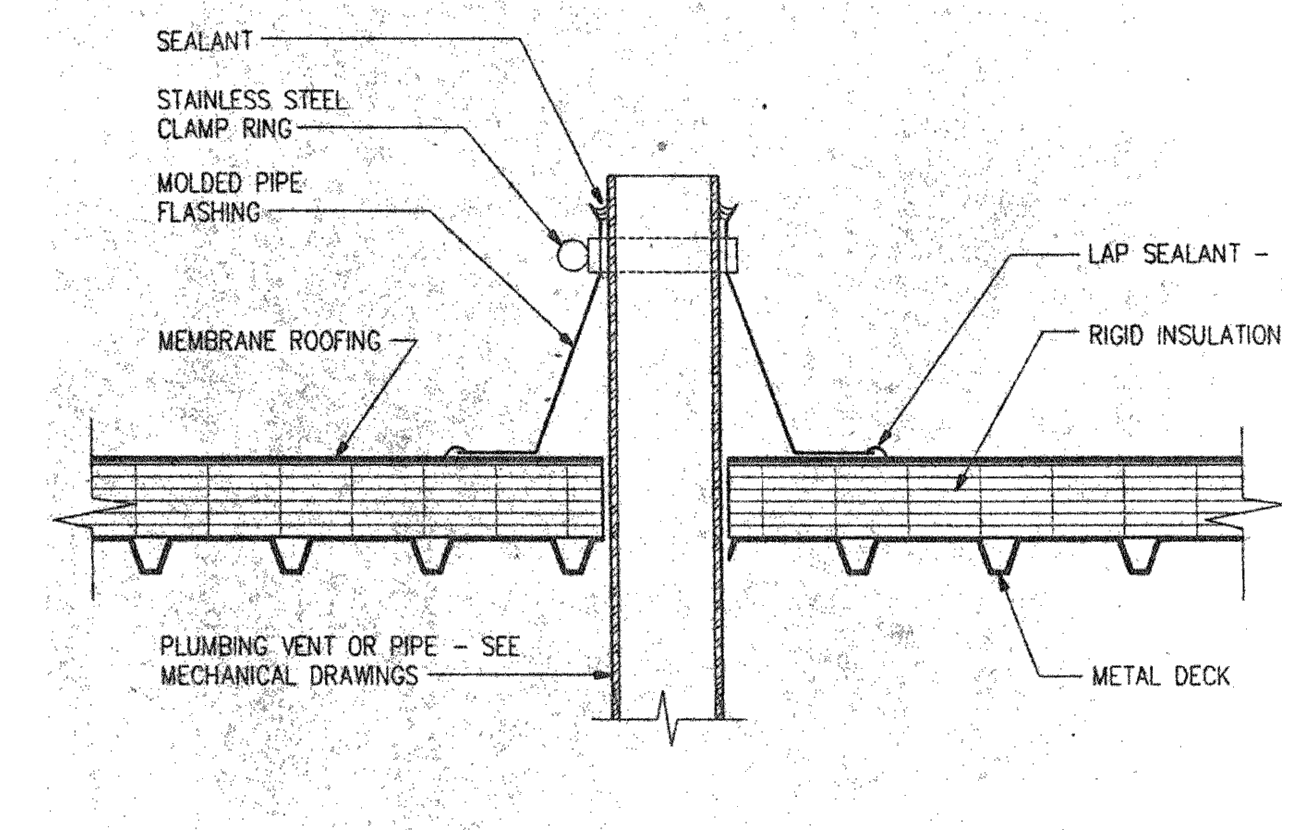
**1 WALL SECTION - EXISTING**  
NOT TO SCALE



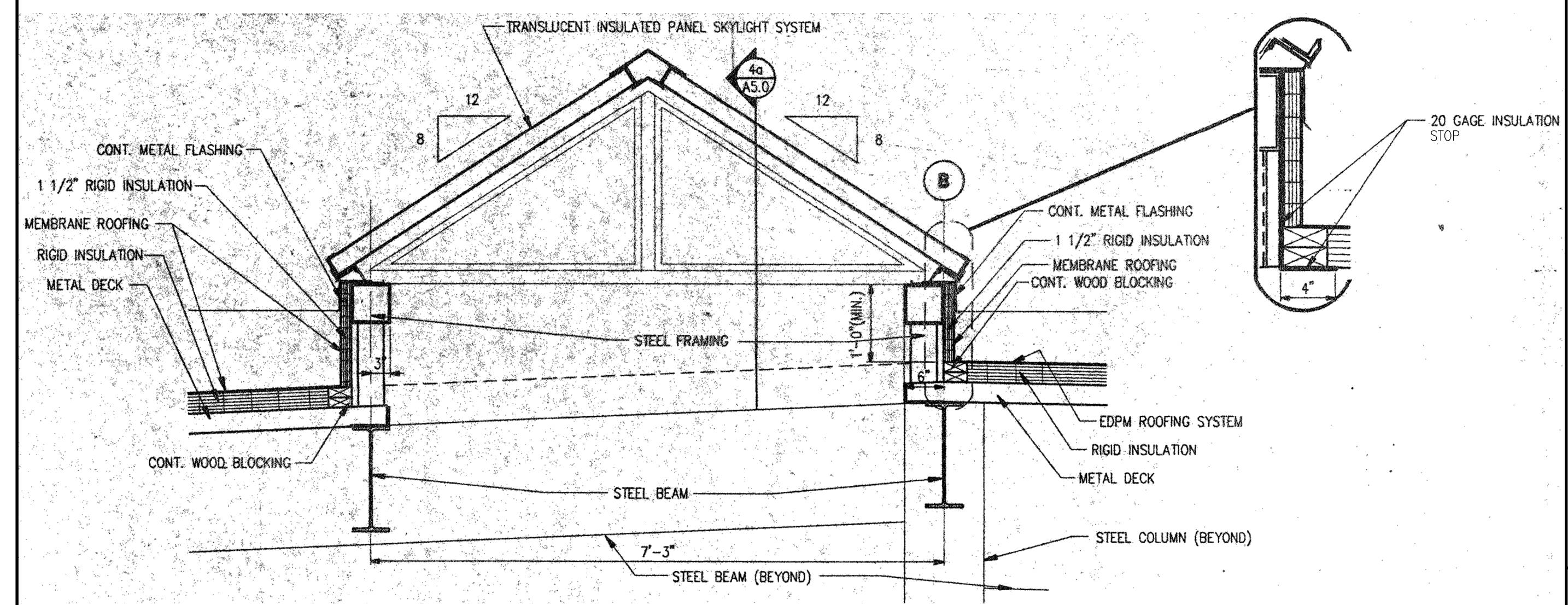
**F EXISTING UNIT SKYLIGHT DETAIL**  
1 1/2" = 1'-0"



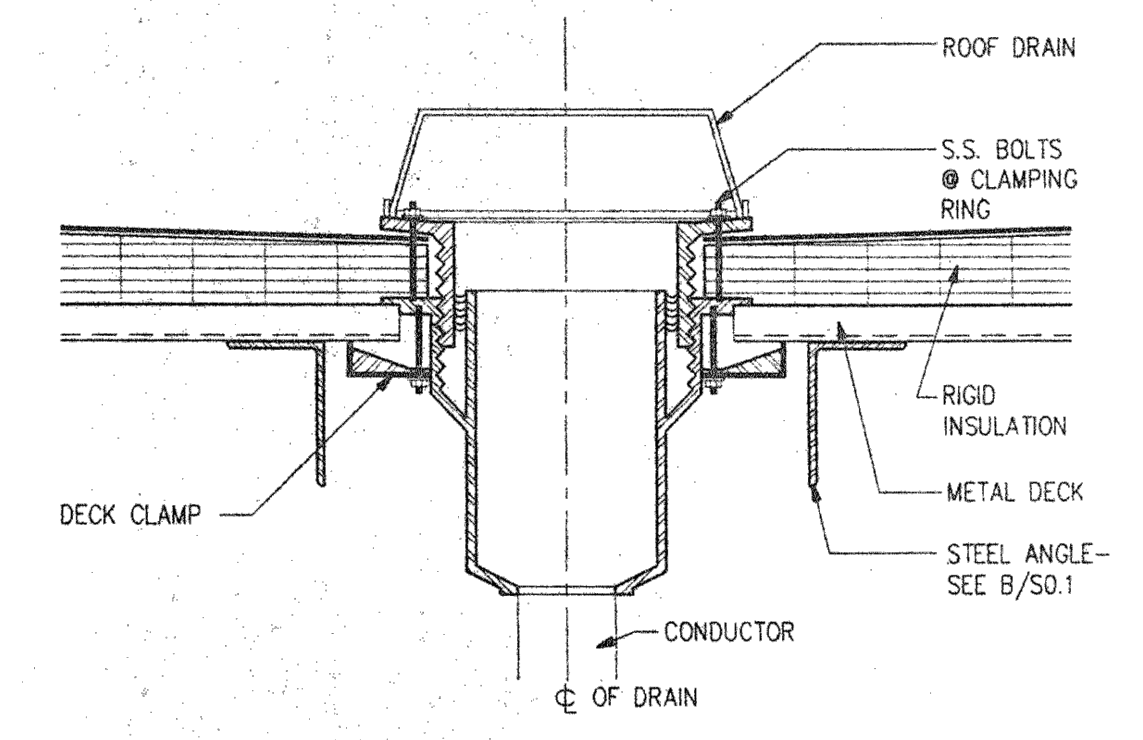
**G SKYLIGHT GABLE END DETAIL**  
1 1/2" = 1'-0"



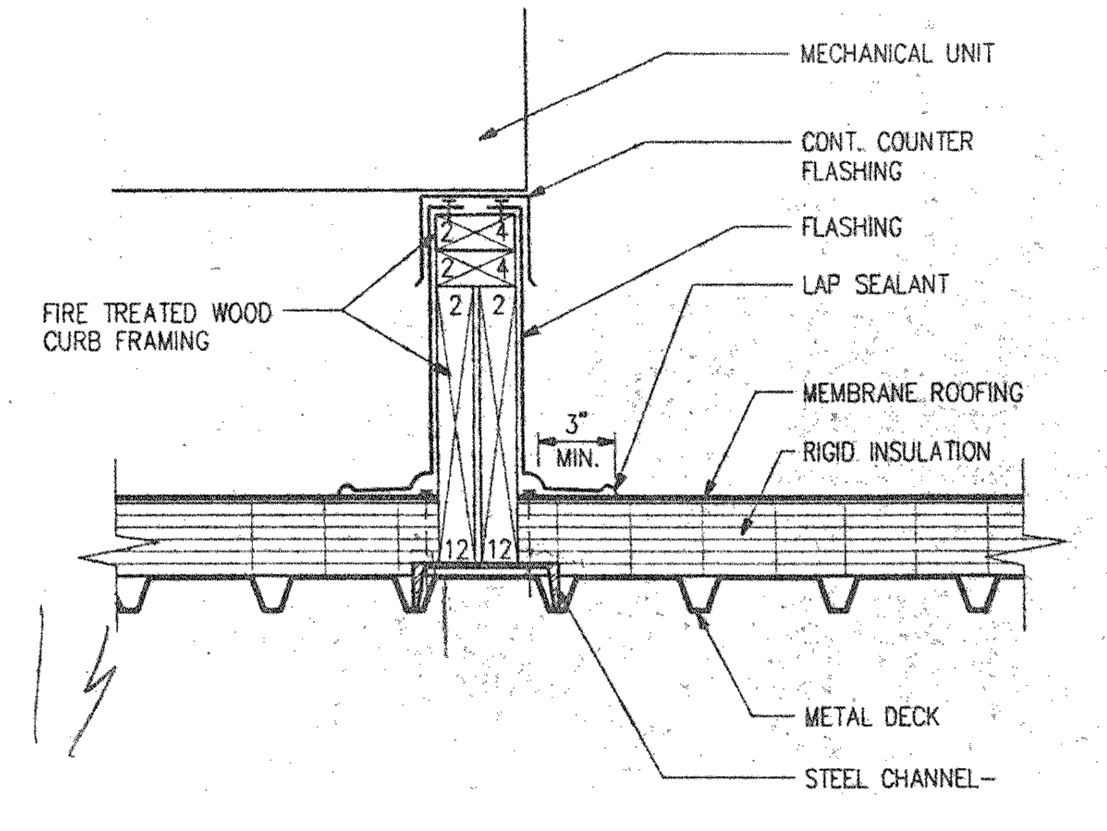
**D EXISTING VENT FLASHING DETAIL**  
1 1/2" = 1'-0"



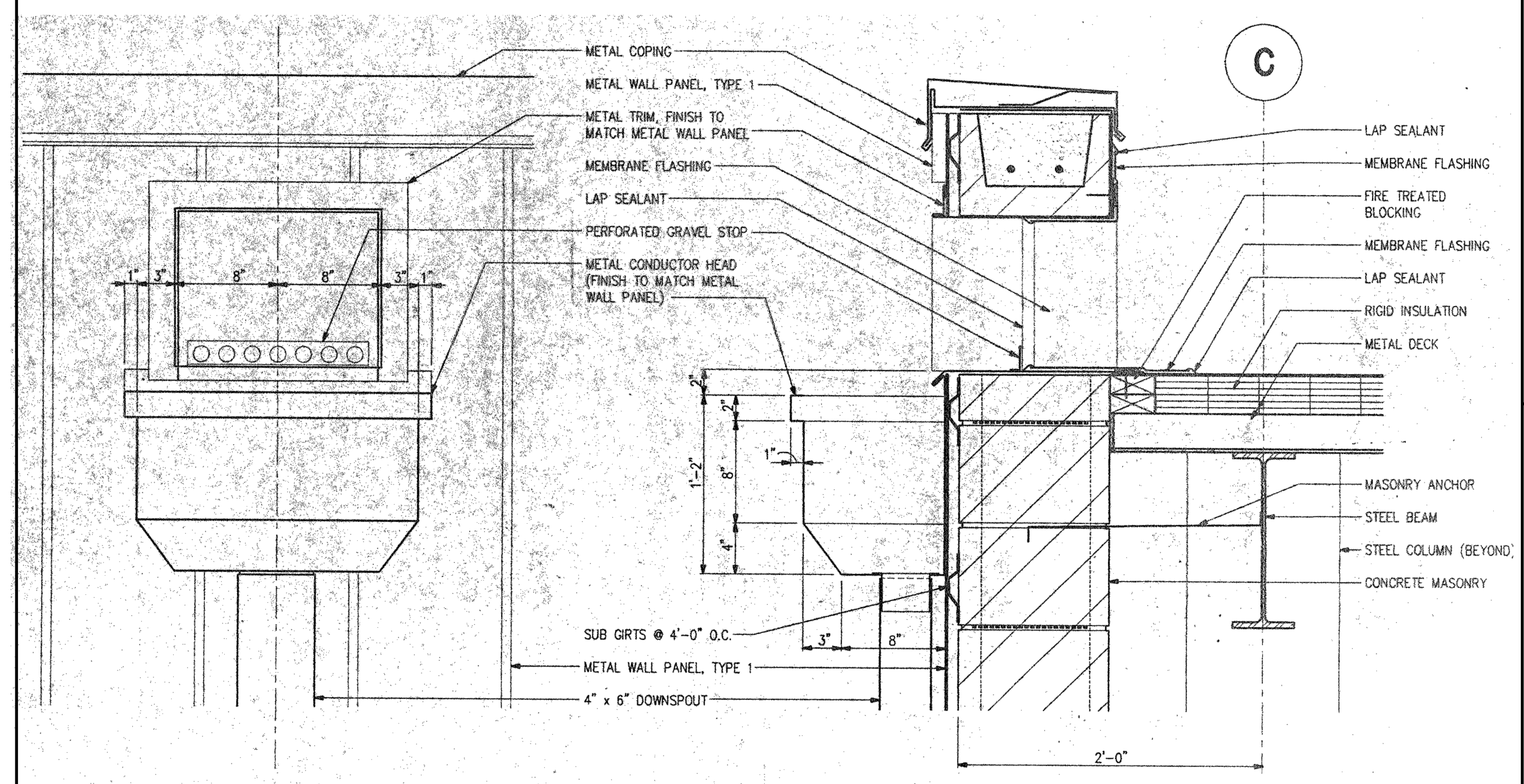
**F EXISTING SKYLIGHT DETAIL**  
1 1/2" = 1'-0"



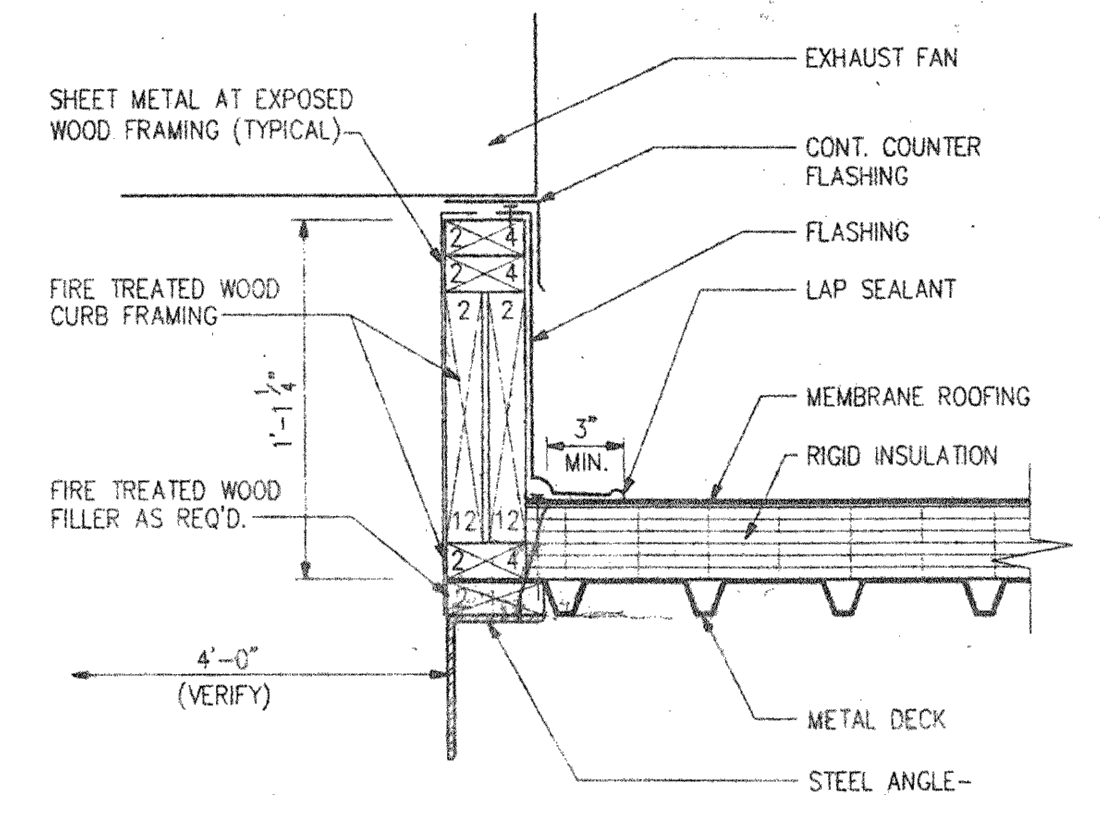
**C EXISTING ROOF DRAIN DETAIL**  
1 1/2" = 1'-0"



**B TYPICAL EXISTING SUPPORT DETAIL**  
1 1/2" = 1'-0"



**E SCUPPER DETAIL**  
1 1/2" = 1'-0"



**A TYPICAL EXISTING CURB DETAIL**  
1 1/2" = 1'-0"



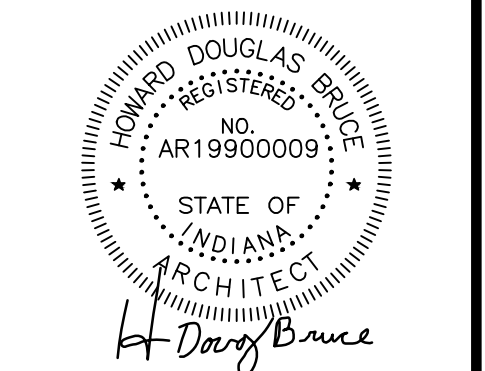
REVISIONS

0	ISSUED FOR CONSTRUCTION	JANUARY 19, 2021
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MEMBRANE RE-ROOF FOR:

**BLOOMINGTON**  
**TRANSIT**

ADMINISTRATIVE AND SERVICE I  
120 WEST GRIMES LANE  
BLOOMINGTON, INDIANA 47401



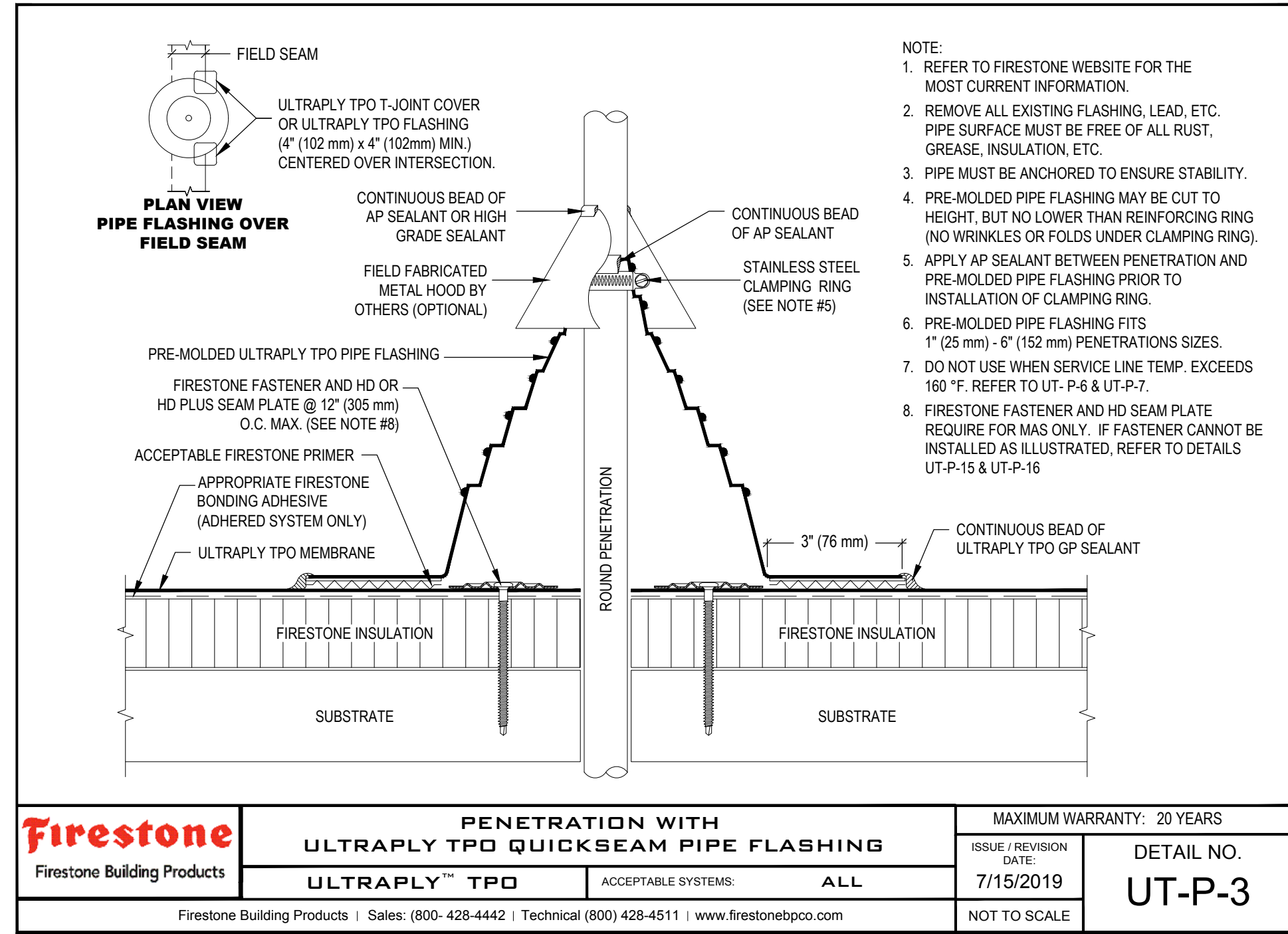
PROJECT NO.	3520
DATE	11.03.2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	

EXISTING ROOF DETAILS

SHEET NO.

**AE501**

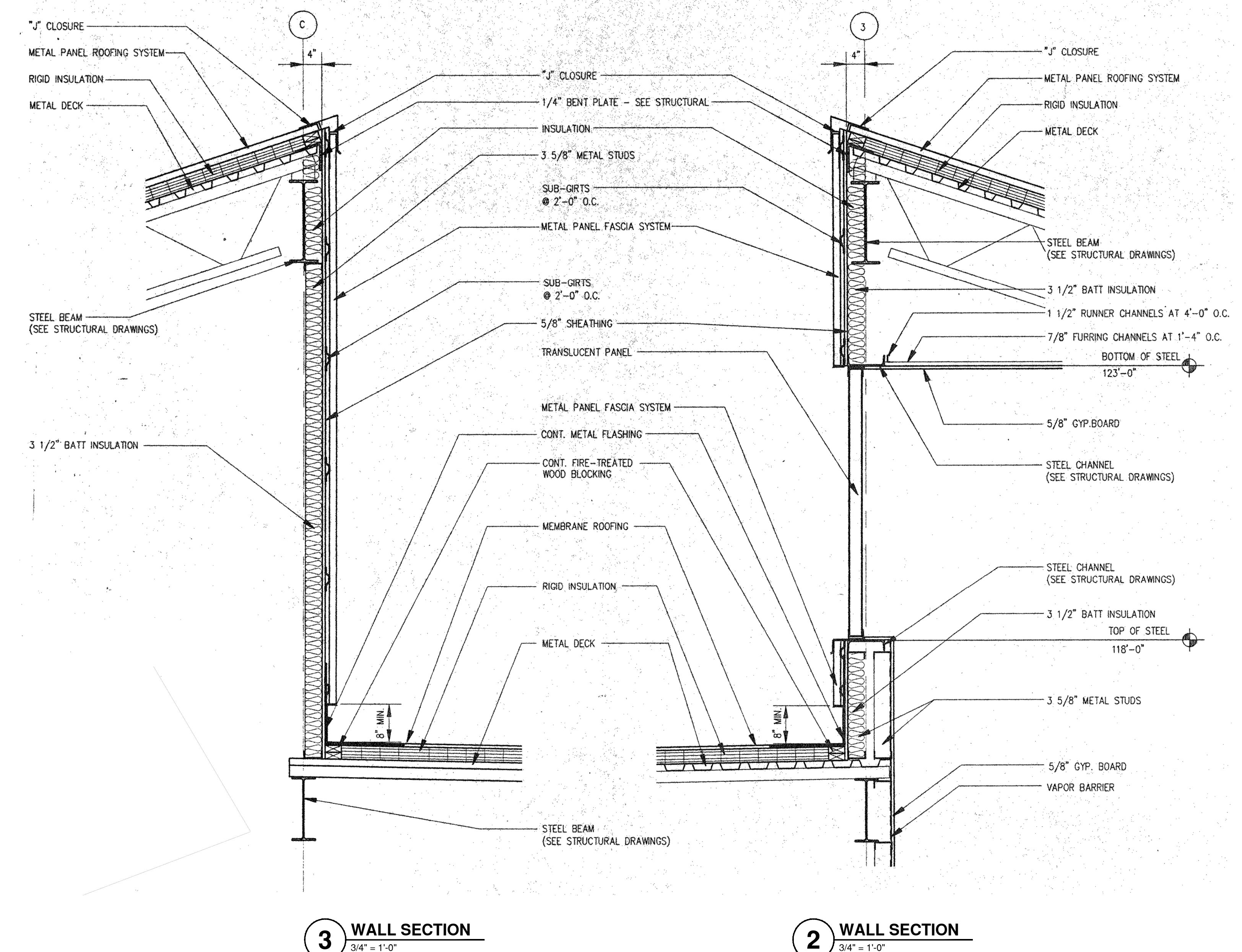
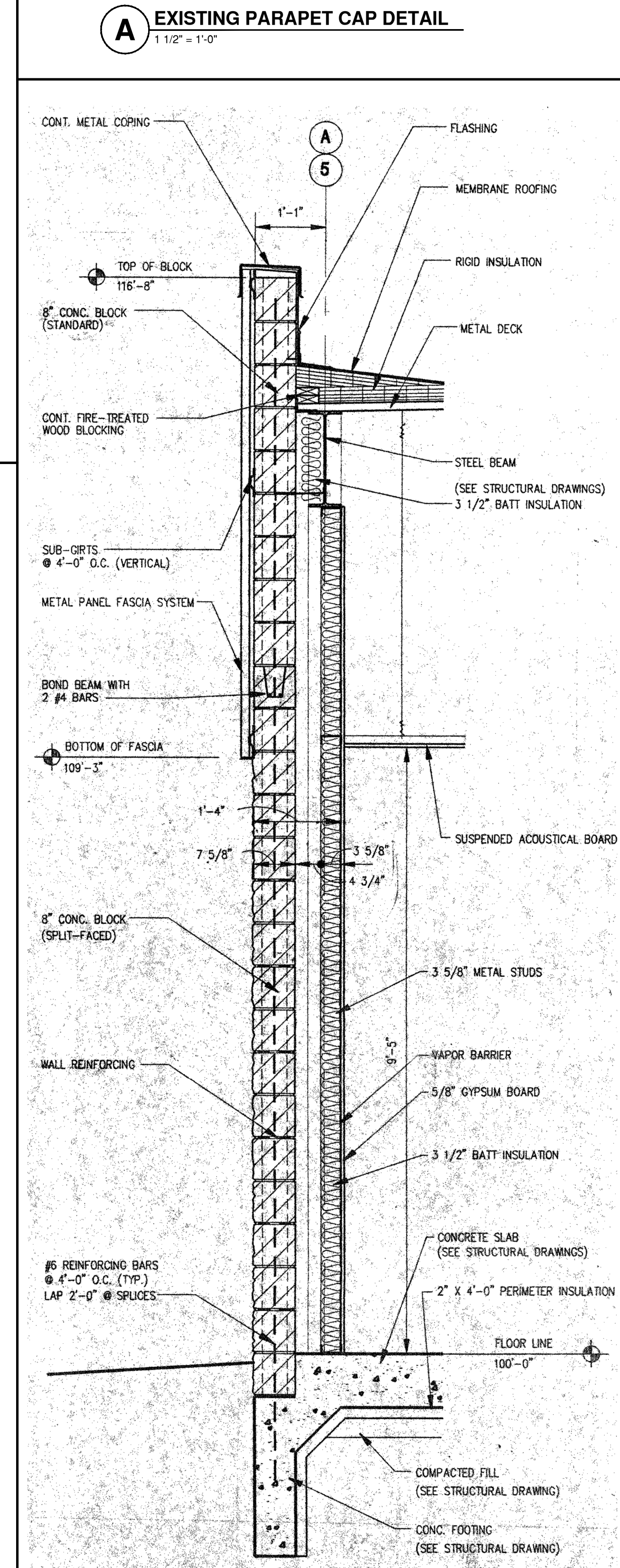
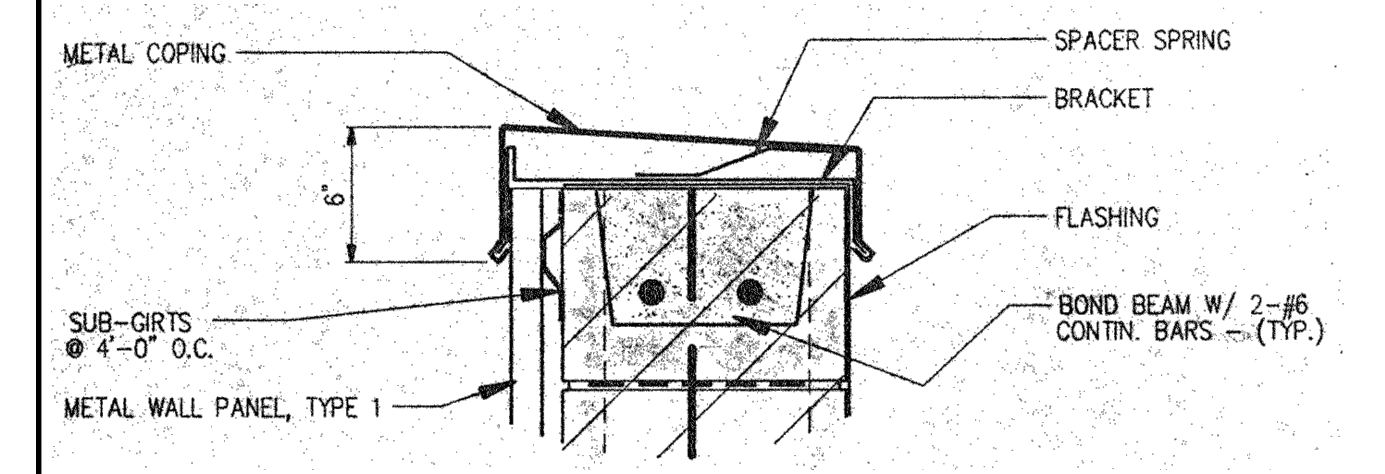
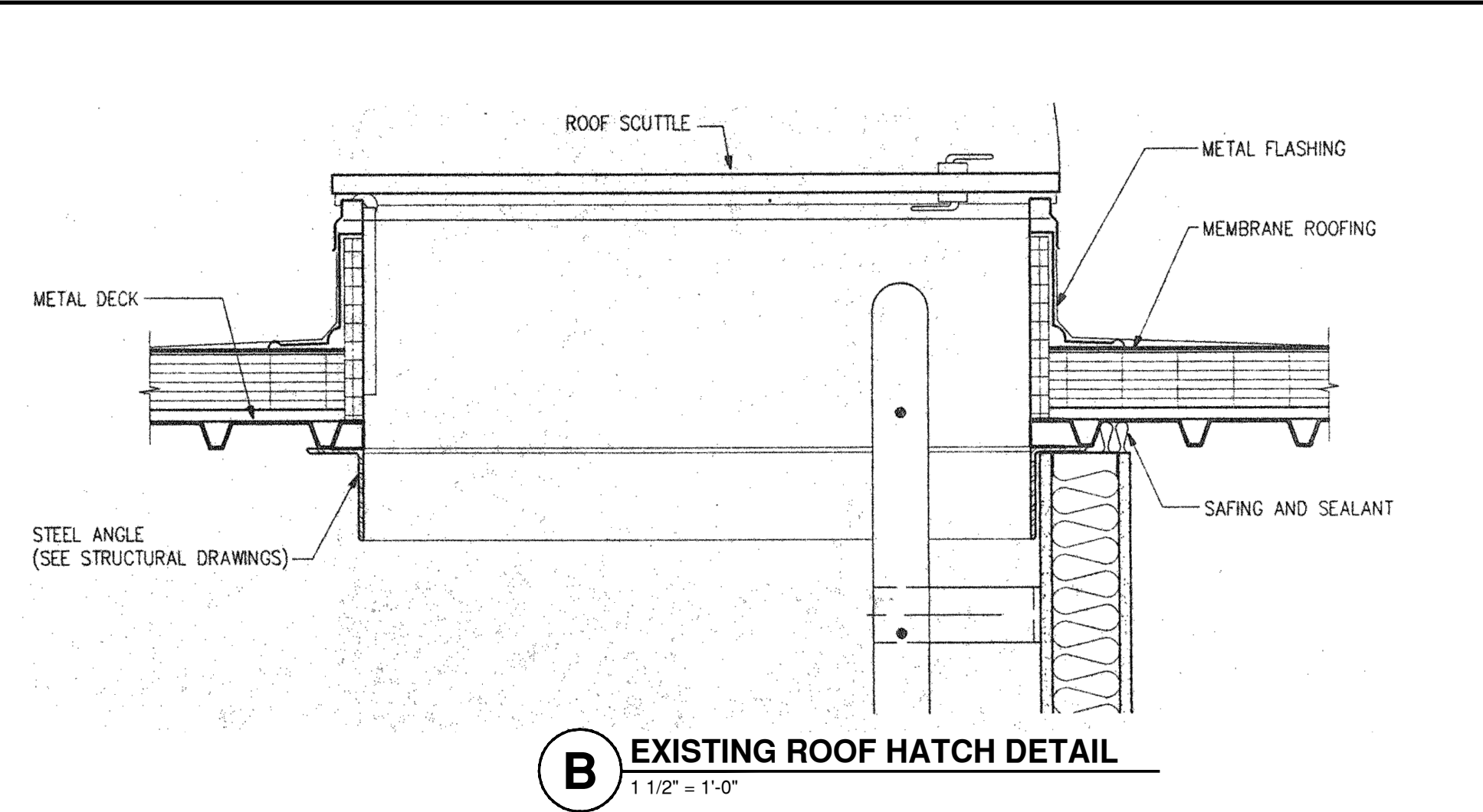




<b>Firestone</b> Firestone Building Products	<b>PENETRATION WITH ULTRAPLY TPO QUICKSEAM PIPE FLASHING</b>	MAXIMUM WARRANTY: 20 YEARS
	<b>ULTRAPLY™ TPO</b>	ACCEPTABLE SYSTEMS: ALL
Firestone Building Products   Sales: (800-428-4442)   Technical: (800) 428-4511   www.firestonetpo.com	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. <b>UT-P-3</b>
	NOT TO SCALE	

- NOTE:
- REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
  - REMOVE ALL EXISTING FLASHING, LEAD, ETC. PIPE SURFACE MUST BE FREE OF ALL RUST, GREASE, INSULATION, ETC.
  - PIPE MUST BE ANCHORED TO ENSURE STABILITY.
  - PRE-MOLDED PIPE FLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (NO WRINKLES OR FOLDS UNDER CLAMPING RING).
  - APPLY AP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING.
  - PRE-MOLDED PIPE FLASHING FITS 1" (25 mm) - 6" (152 mm) PENETRATIONS SIZES.
  - DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 160 °F. REFER TO UT-P-6 & UT-P-7.
  - FIRESTONE FASTENER AND HD SEAM PLATE REQUIRE FOR MAS ONLY. IF FASTENER CANNOT BE INSTALLED AS ILLUSTRATED, REFER TO DETAILS UT-P-15 & UT-P-16

**NOTE:**  
FIRESTONE ULTRAPLY TPO DETAILS HAVE BEEN PROVIDED FOR REFERENCE. CONTRACTOR TO VERIFY CORRECT FLASHING DETAILS WITH TPO MEMBRANE SUPPLIER.

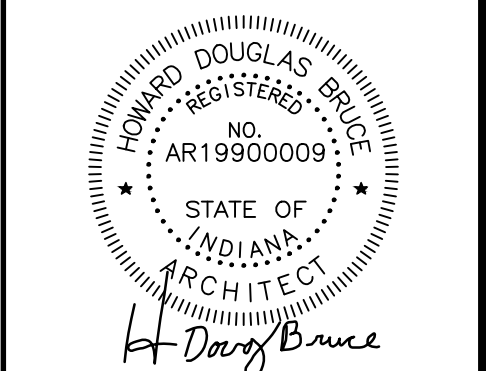


**TABOR BRUCE**  
ARCHITECTURE & DESIGN INC.  
1101 S. WALNUT STREET - BLOOMINGTON, IN. 47401  
TELEPHONE: (812) 332-6258 WEB: WWW.TABORBRUCE.COM

REVISIONS

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MEMBRANE RE-ROOF FOR:  
**BLOOMINGTON TRANSIT**  
ADMINISTRATIVE AND SERVICE I  
120 WEST GRIMES LANE  
BLOOMINGTON, INDIANA 47401

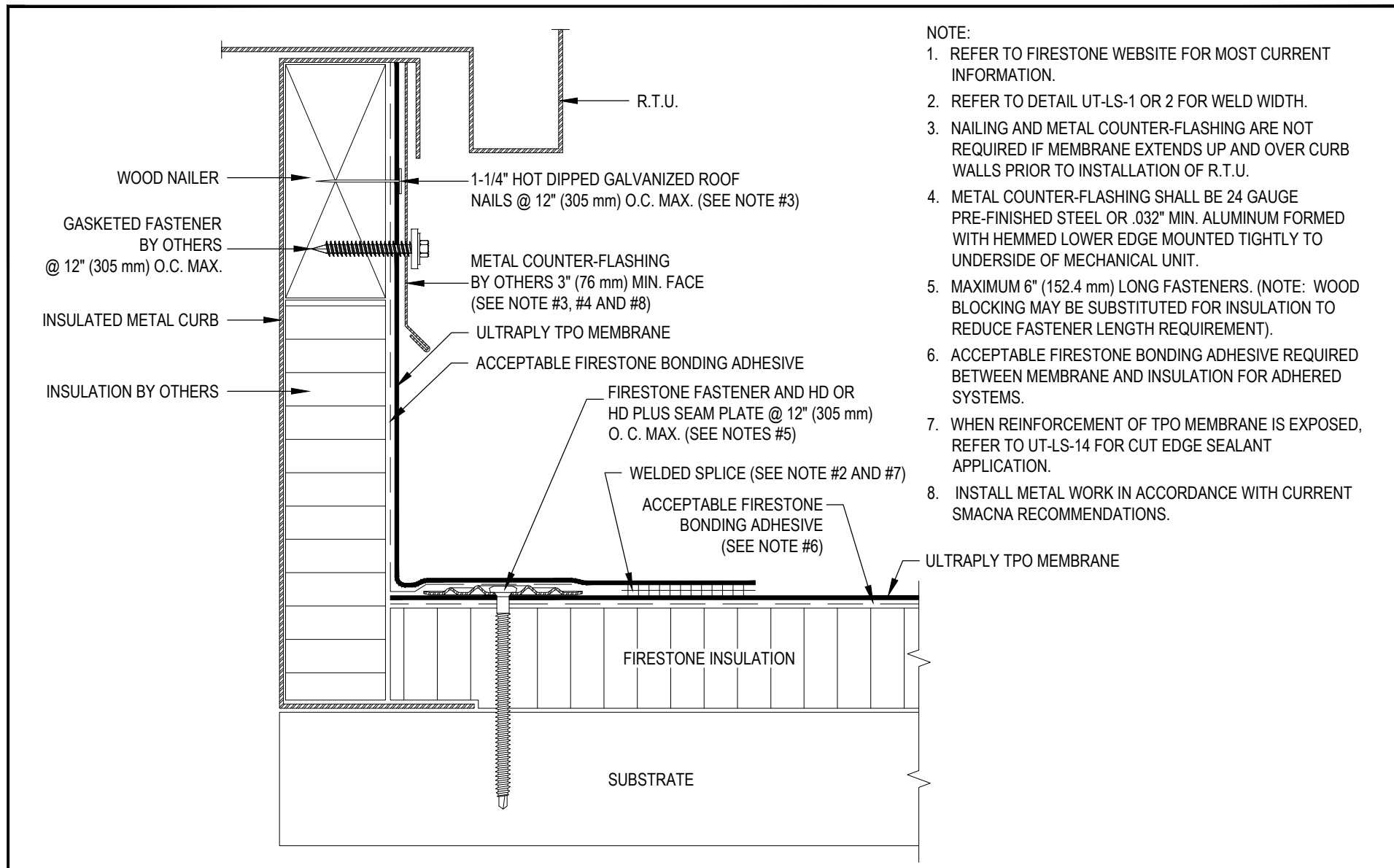


PROJECT NO.	3520
DATE	11.03.2020
DRAWN BY	W. WHITMAN
CHECKED BY	D. BRUCE
SHEET NAME	

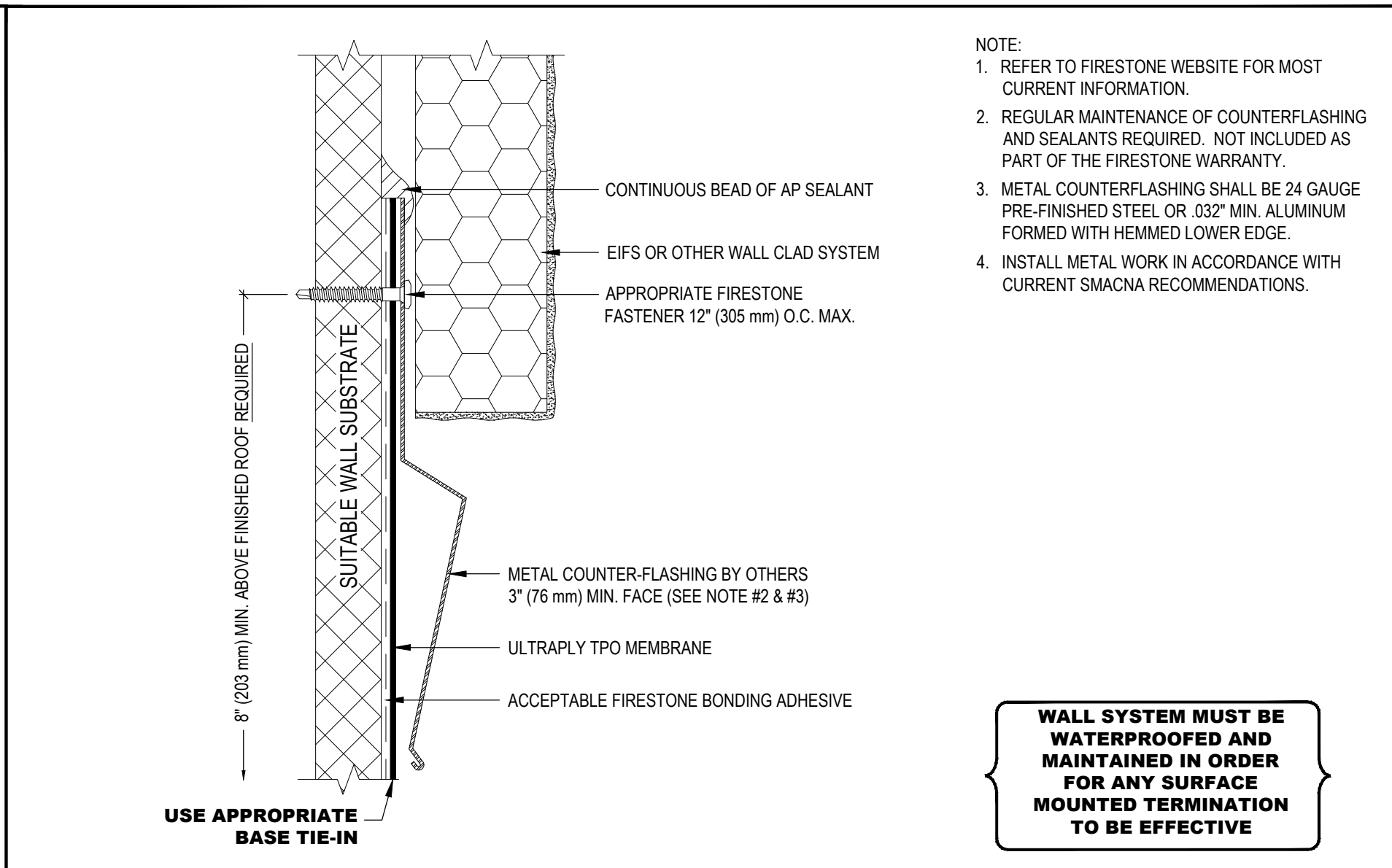
EXISTING ROOF DETAILS  
SHEET NO.

**AE502**

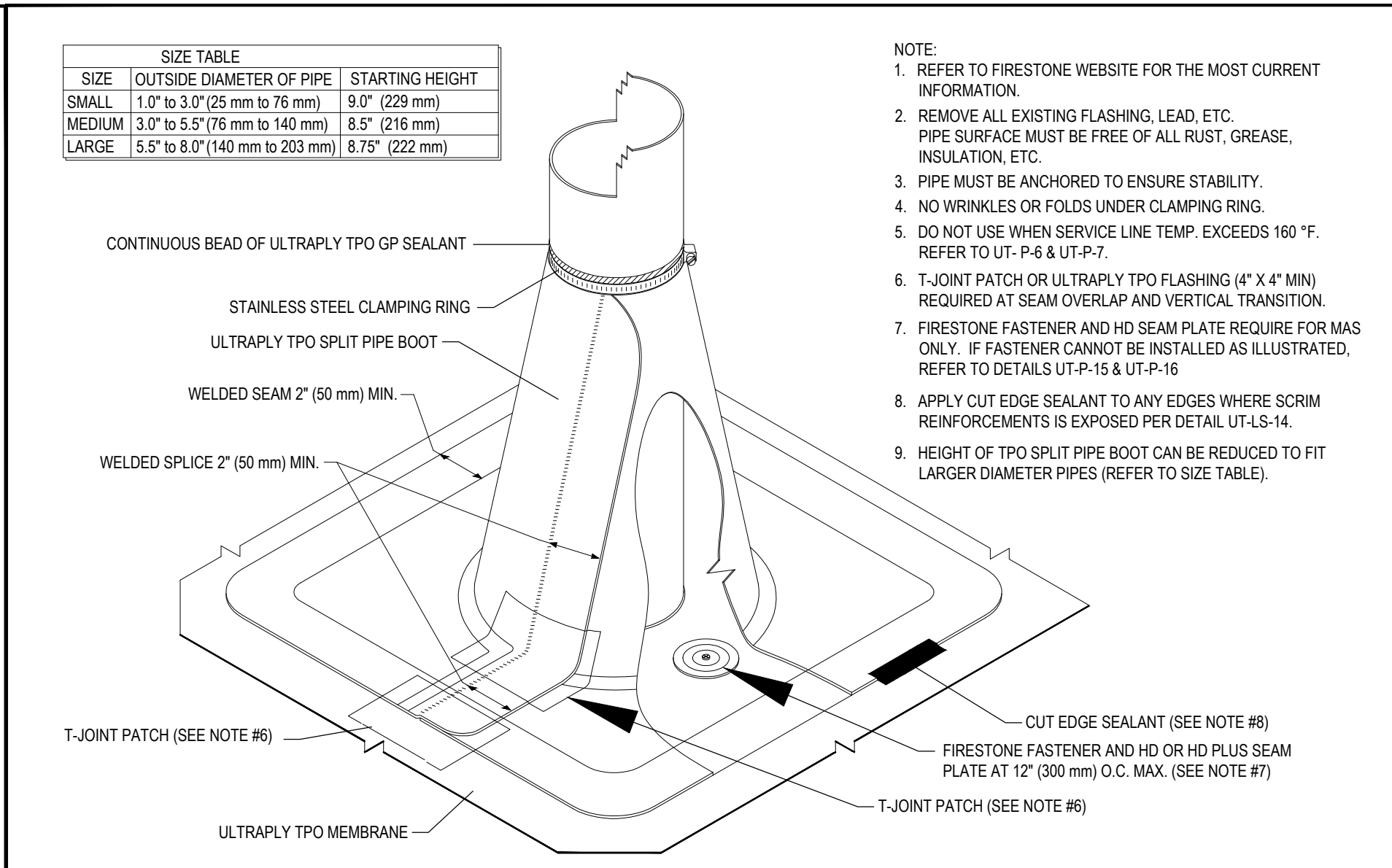




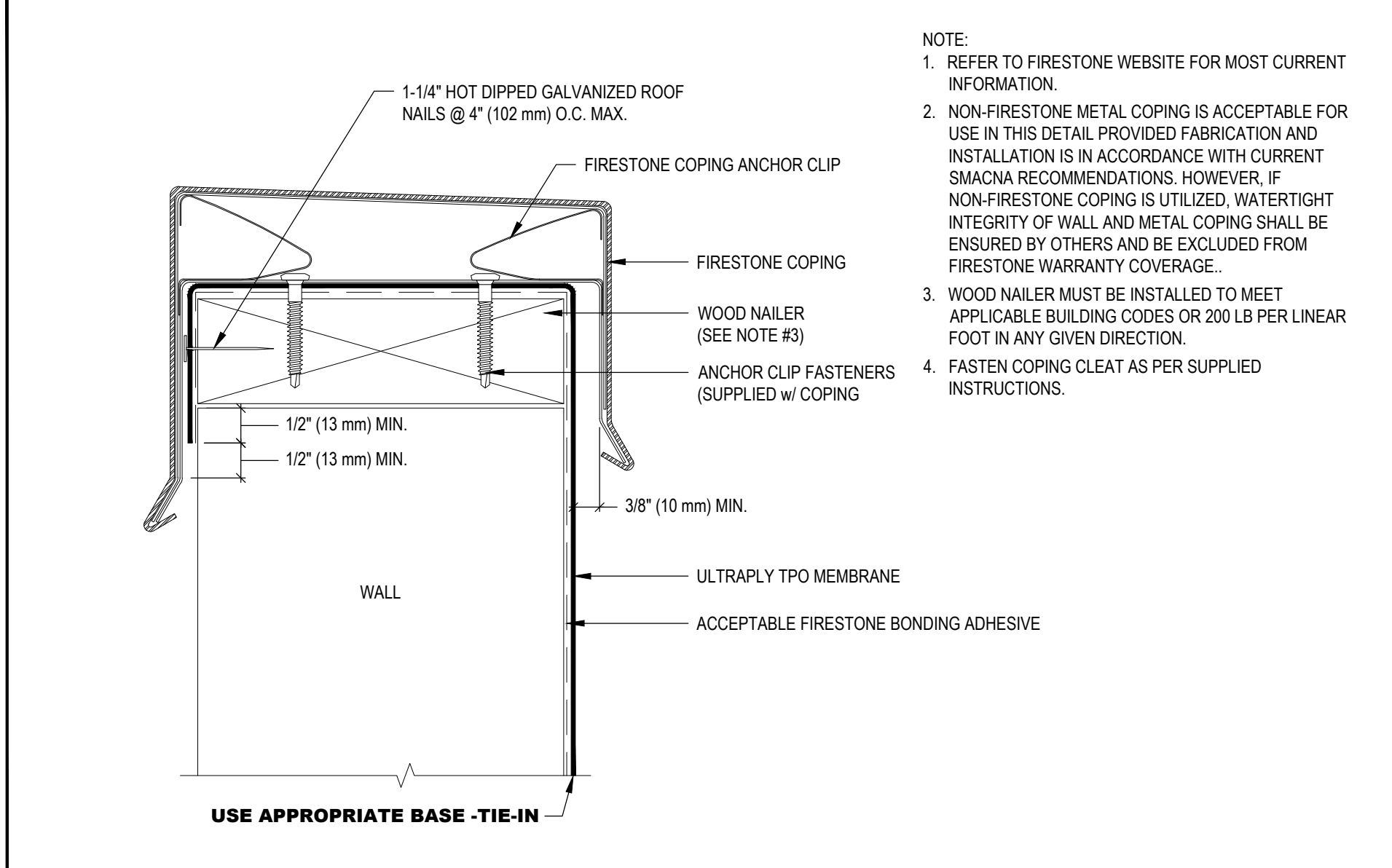
<b>Firestone</b> Firestone Building Products	<b>TERMINATION AT R.T.U. WITH COUNTER-FLASHING AND SEPARATE FLASHING (UNIT FLANGE MOUNTED TO SUBSTR.)</b>		MAXIMUM WARRANTY: 20 YEARS	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. UT-T-19
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



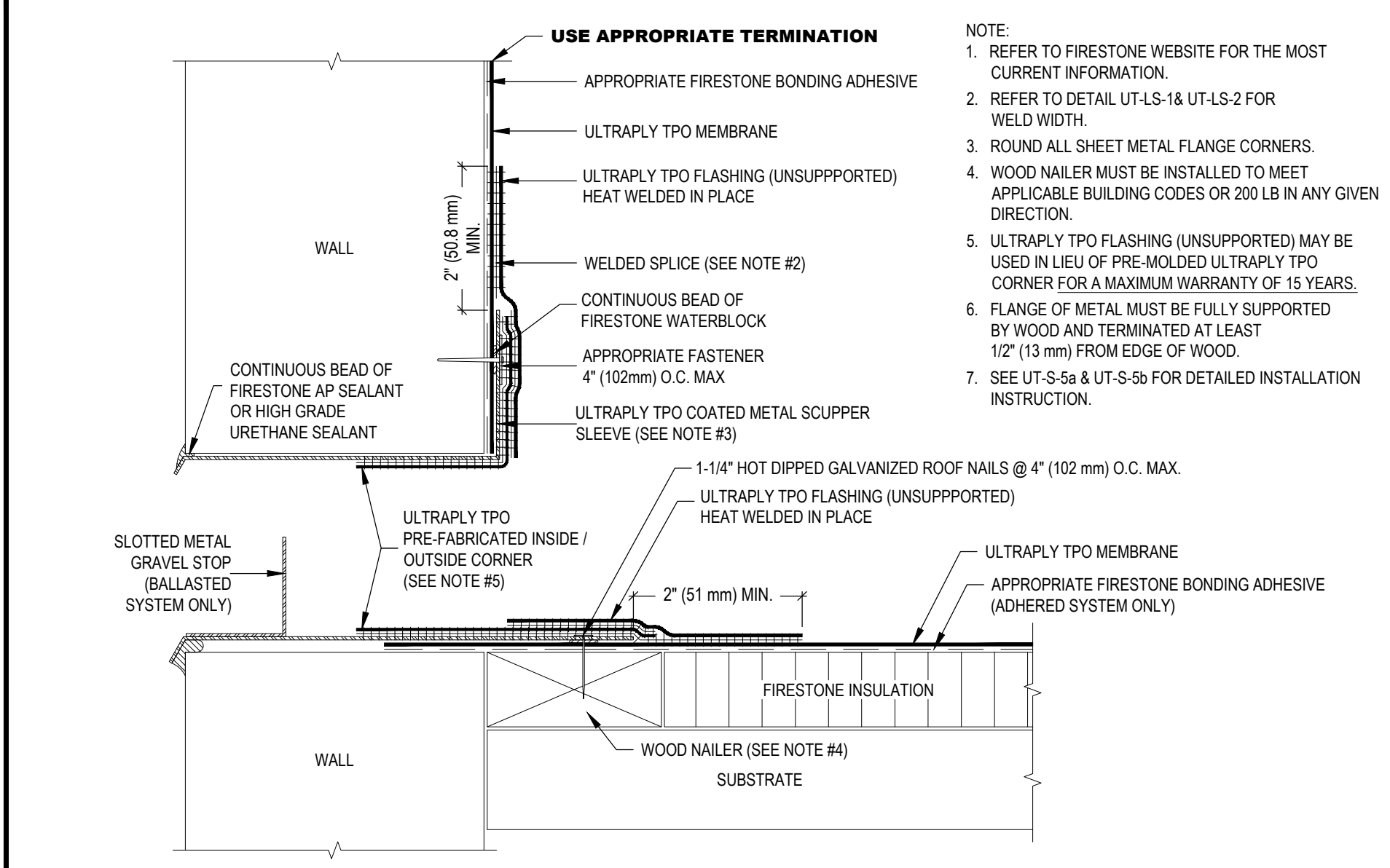
<b>Firestone</b> Firestone Building Products	<b>TERMINATION AT EIFS OR WALL CLADDING</b>		MAXIMUM WARRANTY: 20 YEARS	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. UT-T-7
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



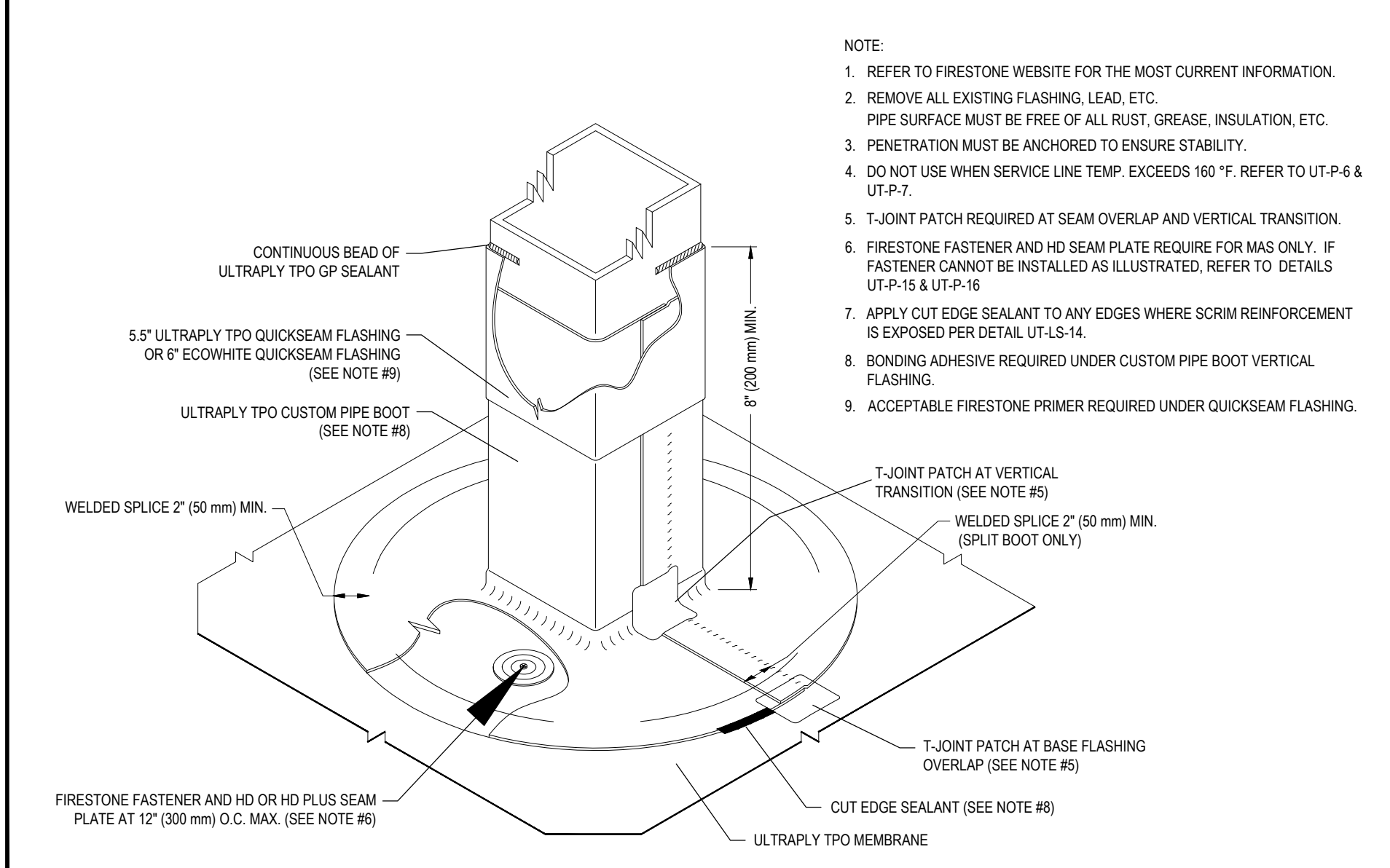
<b>Firestone</b> Firestone Building Products	<b>ROUND PENETRATION WITH ULTRAPLY TPO SPLIT PIPE BOOT</b>		MAXIMUM WARRANTY: 20 YEARS	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. UT-P-21
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



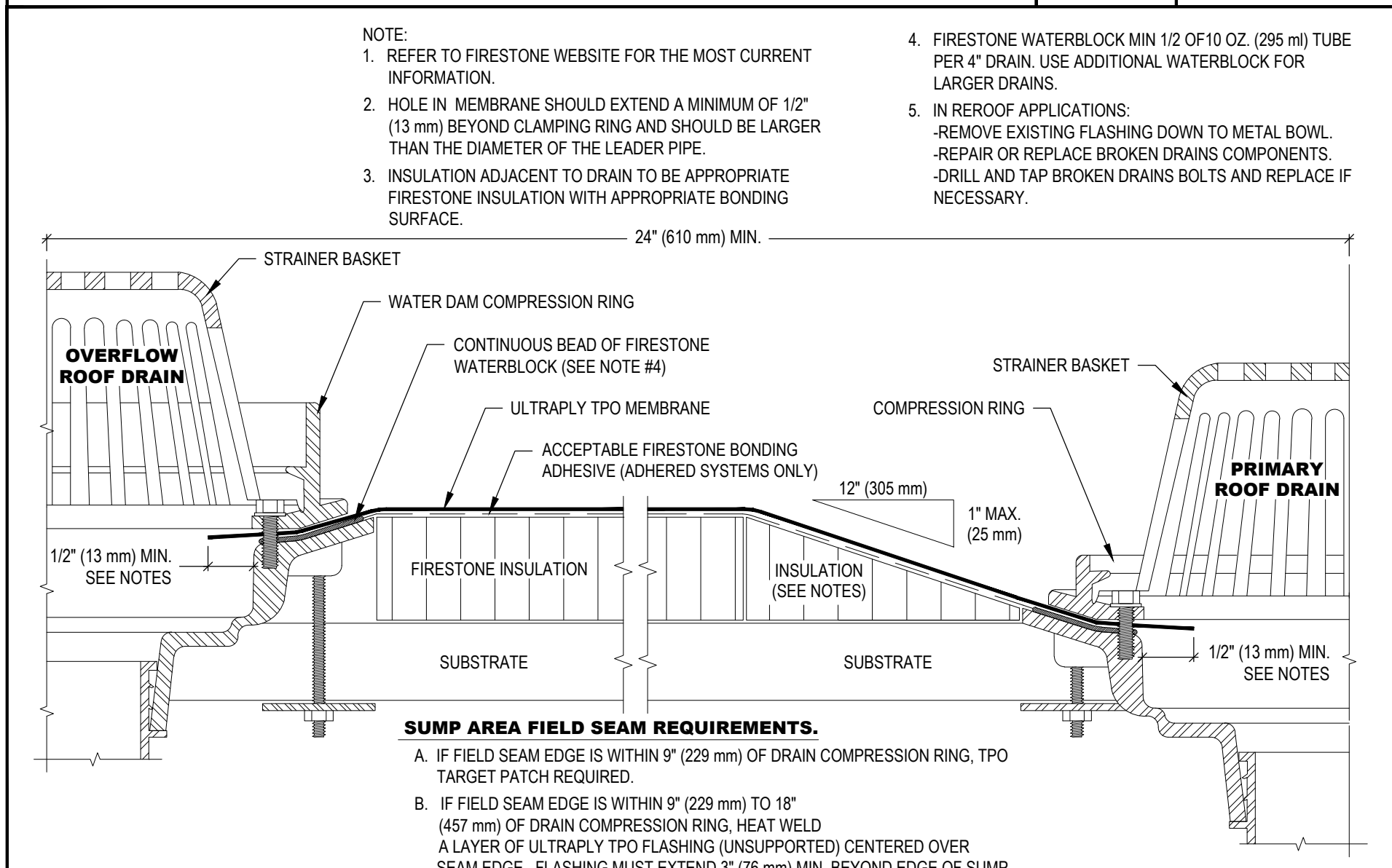
<b>Firestone</b> Firestone Building Products	<b>TERMINATION AT TOP OF WALL WITH FIRESTONE COPING</b>		MAXIMUM WARRANTY: 20 YEARS	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. UT-T-12
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



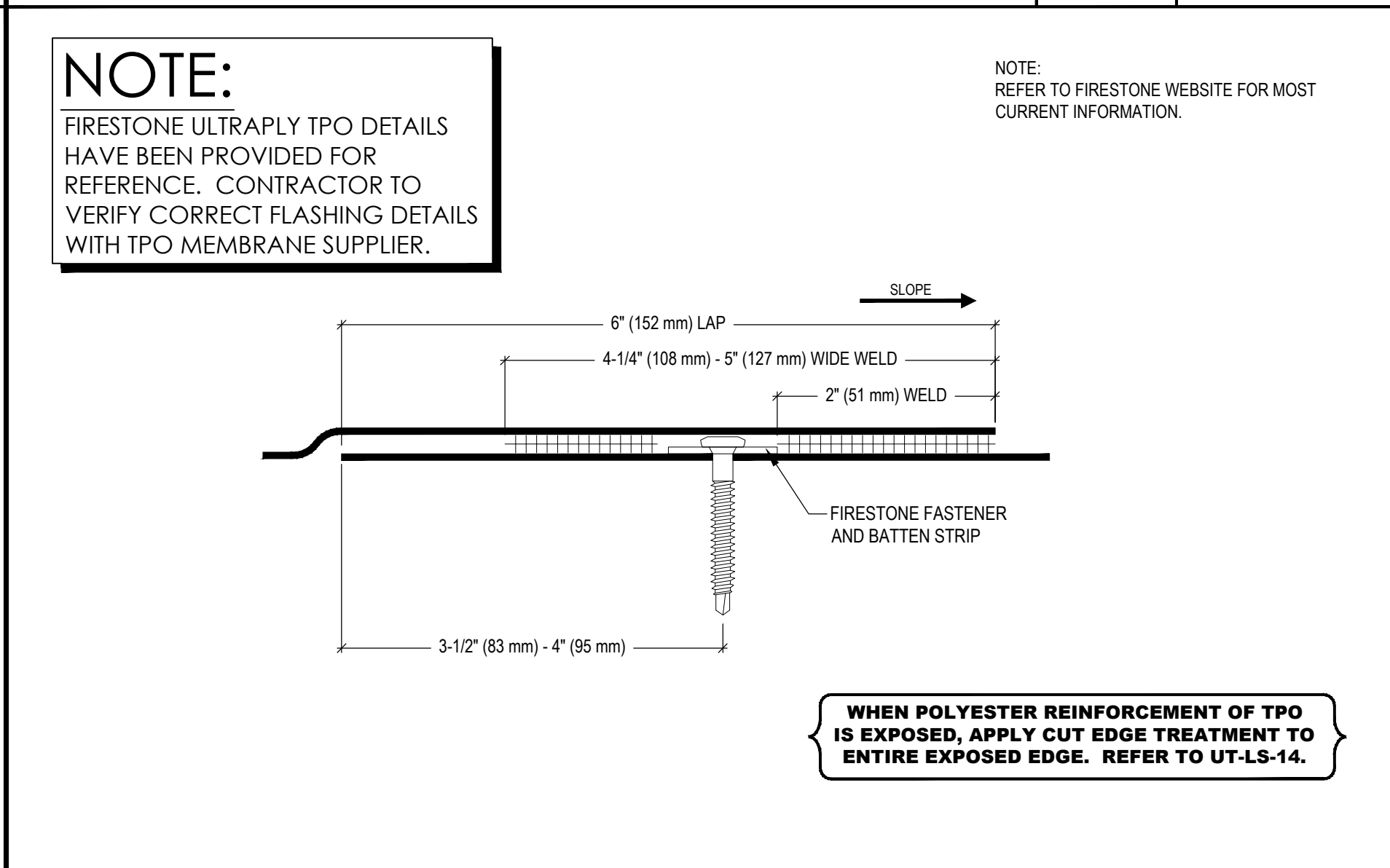
<b>Firestone</b> Firestone Building Products	<b>THRU-WALL SCUPPER WITH ULTRAPLY TPO COATED METAL</b>		MAXIMUM WARRANTY: 20 Years	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 5/17/2019	DETAIL NO. UT-S-5
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



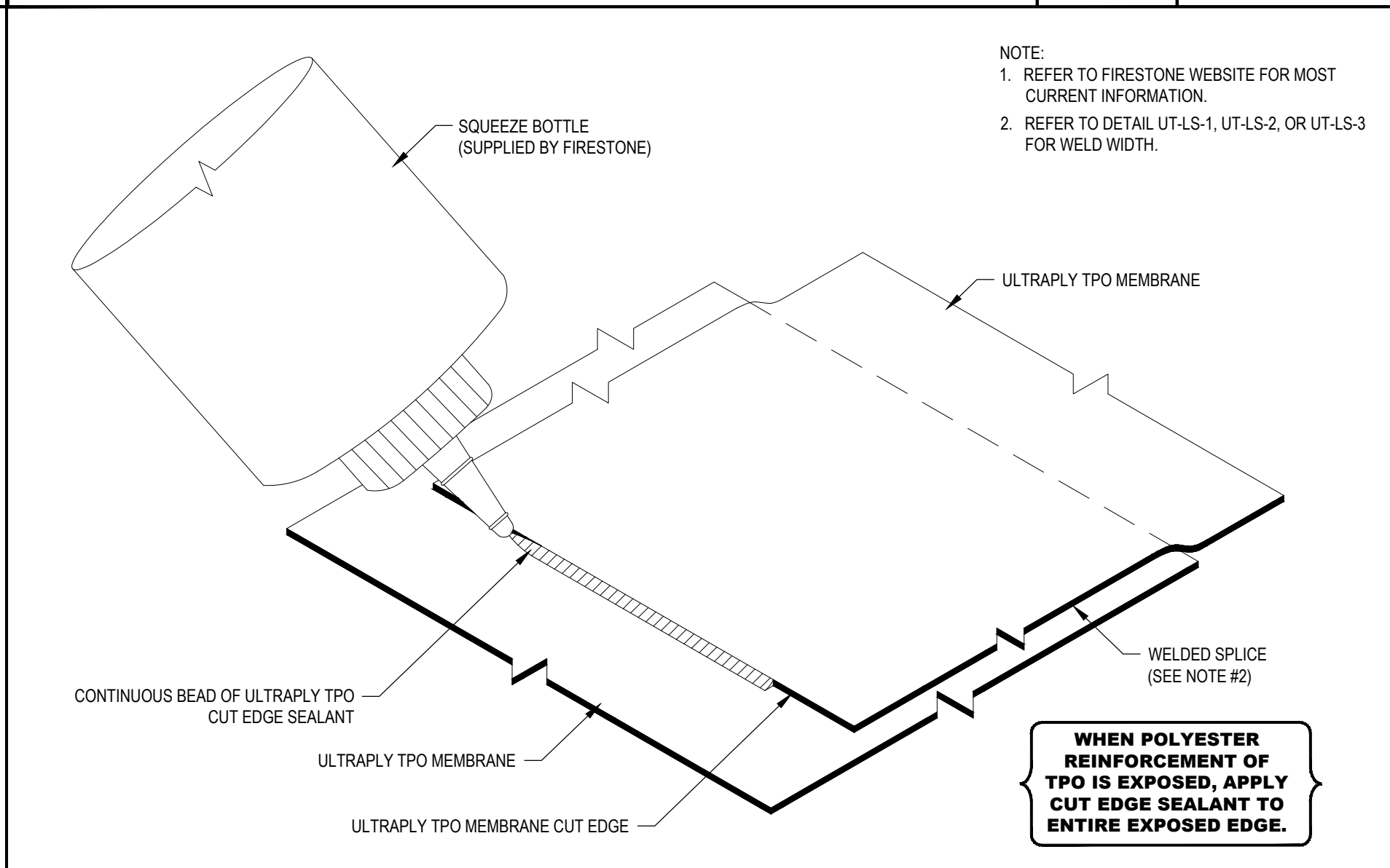
<b>Firestone</b> Firestone Building Products	<b>SQUARE PENETRATION WITH ULTRAPLY TPO CUSTOM PIPE BOOT</b>		MAXIMUM WARRANTY: 20 YEARS	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/15/2019	DETAIL NO. UT-P-18
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



<b>Firestone</b> Firestone Building Products	<b>ROOF DRAIN WITH OVERFLOW ROOF DRAIN</b>		MAXIMUM WARRANTY: 20 Years	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 5/17/2019	DETAIL NO. UT-D-4
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



<b>Firestone</b> Firestone Building Products	<b>LAP SPLICE WITH FIRESTONE BATTEN STRIP AND WIDE WELD</b>		MAXIMUM WARRANTY: 20 Years	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/22/2019	DETAIL NO. UT-LS-3
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				

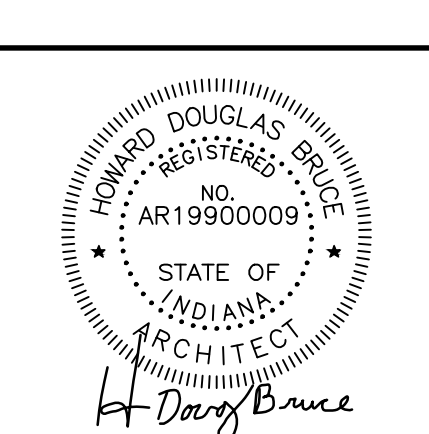


<b>Firestone</b> Firestone Building Products	<b>CUT EDGE SEALANT APPLICATION</b>		MAXIMUM WARRANTY: 20 Years	
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	ISSUE / REVISION DATE: 7/23/2019	DETAIL NO. UT-LS-14
Firestone Building Products   Sales: (800-428-4442)   Technical (800) 428-4511   www.firestonebpc.com				



REVISIONS  
 0 ISSUED FOR CONSTRUCTION JANUARY 19, 2021  
 1 ISSUED FOR RE-BID MARCH 17, 2021

MEMBRANE RE-ROOF FOR:  
**BLOOMINGTON TRANSIT**  
 ADMINISTRATIVE AND SERVICE I  
 120 WEST GRIMES LANE  
 BLOOMINGTON, INDIANA 47401



PROJECT NO. 3520  
 DATE 11.03.2020  
 DRAWN BY W. WHITMAN  
 CHECKED BY D. BRUCE  
 SHEET NAME

TYPICAL ROOFING DETAILS  
 SHEET NO.

**AE503**



**MEZZANINE FRAMING PLAN NOTES**

1. ALL MEZZANINE STEEL BEAMS AND ORDERS SHALL BE ASTM A572, GRADE 50 UNLESS OTHERWISE NOTED.
2. SEE DRAWING S.O.0 FOR CONCRETE SCHEDULE AND GENERAL NOTES PERTAINING TO CONCRETE, REINFORCING STEEL, STRUCTURAL STEEL AND STEEL DECK.
3. TOP OF MEZZ. FLOOR SLAB ELEVATION = 11'-0" UNLESS INDICATED OTHERWISE. REFERENCE ELEVATION: 100'-0" = 726.0' U.S.G.S.
4. TOP OF BEAM (T.B.) ELEVATIONS = 110'-6 1/2" UNLESS NOTED OTHERWISE ADJACENT TO BEAM SIZE ON THE PLAN.
5. (24 S.C.) INDICATES NUMBER OF COMPOSITE BEAM SHEAR CONNECTORS. SEE DETAIL A/S1.2 (TYPICAL SHEAR CONNECTOR PLACEMENT) FOR SHEAR CONNECTOR INFORMATION AND REQUIREMENTS.
6. VERTICAL SHEAR REACTIONS (30K) ARE INDICATED AT THE ENDS OF SOME BEAMS. SEE STRUCTURAL STEEL NOTE NO.XX ON DRAWING SXX FOR CONNECTION DESIGN REQUIREMENTS.
7. INDICATES OPENING THROUGH SLAB. SEE REINFORCING STEEL NOTE NO.XX ON DRAWING SXX FOR REINFORCEMENT REQUIREMENTS AROUND OPENINGS.
8. INDICATES SPAN OF 3 1/2" REGULAR WEIGHT CONCRETE SLAB (CLASS B CONCRETE) PLACED ON 27" 20 GAUGE COMPOSITE STEEL FLOOR DECK (TOTAL SLAB THICKNESS = 5 1/2"). SEE STEEL DECK NOTE NO.XX ON DRAWING SXX FOR DECK FASTENING REQUIREMENTS. SEE DETAILS B/S1.2, C/S1.2 AND D/S1.2 FOR SLAB REINFORCEMENT REQUIREMENTS.
9. INTERIOR FLOOR OPENINGS: SEE SECTIONS X/SXX, Y/SXX, Z/SXX AND X/SXX FOR EDGE OF SLAB CONDITIONS UNLESS OTHERWISE DETAILED.
10. F.D. (F-XX) REPRESENTS FLOOR DRAIN. ELEVATION INDICATES TOP OF SLAB ELEVATION AROUND DRAIN. SEE DETAIL X/SXX (TYPICAL FLOOR DRAIN).
11. F.A. INDICATES OPENING IN SLAB FOR FLOOR DRAIN. COORDINATE OPENING SIZE WITH FLOOR DRAIN SUPPLIER. SEE PLUMBING DRAWINGS FOR EXACT LOCATIONS. SEE REINFORCING STEEL NOTE NO.XX ON DRAWING SXX FOR SLAB REINFORCEMENT REQUIREMENTS AROUND OPENING.
12. INDICATES TOP OF SLAB ELEVATION.
13. INDICATES TOP OF SLAB SPOT ELEVATION.
14. INDICATES CONSTANT TOP OF SLAB ELEVATION ALONG A LINE.
15. REPRESENTS 6"x6" CONCRETE CURB (CLASS B CONCRETE). SEE DETAIL X/SXX FOR SEE DETAIL REQUIREMENTS.

**ROOF FRAMING PLAN NOTES**

1. SEE DRAWING S.O.0 FOR GENERAL NOTES PERTAINING TO STRUCTURAL STEEL AND STEEL DECK.
2. VERTICAL SHEAR REACTIONS (30K) ARE INDICATED AT THE ENDS OF SOME BEAMS. SEE STRUCTURAL STEEL NOTE NO.XX ON DRAWING SXX FOR CONNECTION DESIGN REQUIREMENTS.
3. INDICATES BEAM-TO-COLUMN MOMENT CONNECTION MARK. SEE DRAWING S1.3 FOR MOMENT CONNECTION SCHEDULE, NOTES AND DETAILS.
4. INDICATES SPAN OF 3" 20 GAUGE DEEP RIB STEEL ROOF DECK. SEE STEEL DECK NOTE NO. X ON DRAWING S.O.1 FOR DECK FASTENING REQUIREMENTS.
5. INDICATES ROOF OPENING. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF OPENING. IF NOT INDICATED, SEE DETAIL B/SO.1 (TYPICAL ROOF OPENING FRAMING) FOR FRAMING REQUIREMENTS.
6. R.D. INDICATES ROOF DRAIN. COORDINATE OPENING SIZE WITH ROOF DRAIN SUPPLIER. SEE ROOF PLUMBING PLAN FOR EXACT LOCATIONS. PROVIDE SUMP PAN FOR ROOF DRAIN OPENING. SEE DETAIL E/SO.1 (TYPICAL ROOF OPENING FRAMING) FOR FRAMING REQUIREMENTS.



**BLOOMINGTON BUS MAINTENANCE FACILITY**  
120 WEST GRIMES  
BLOOMINGTON, IN

REVISION DATE: REVISION DESCRIPTION:

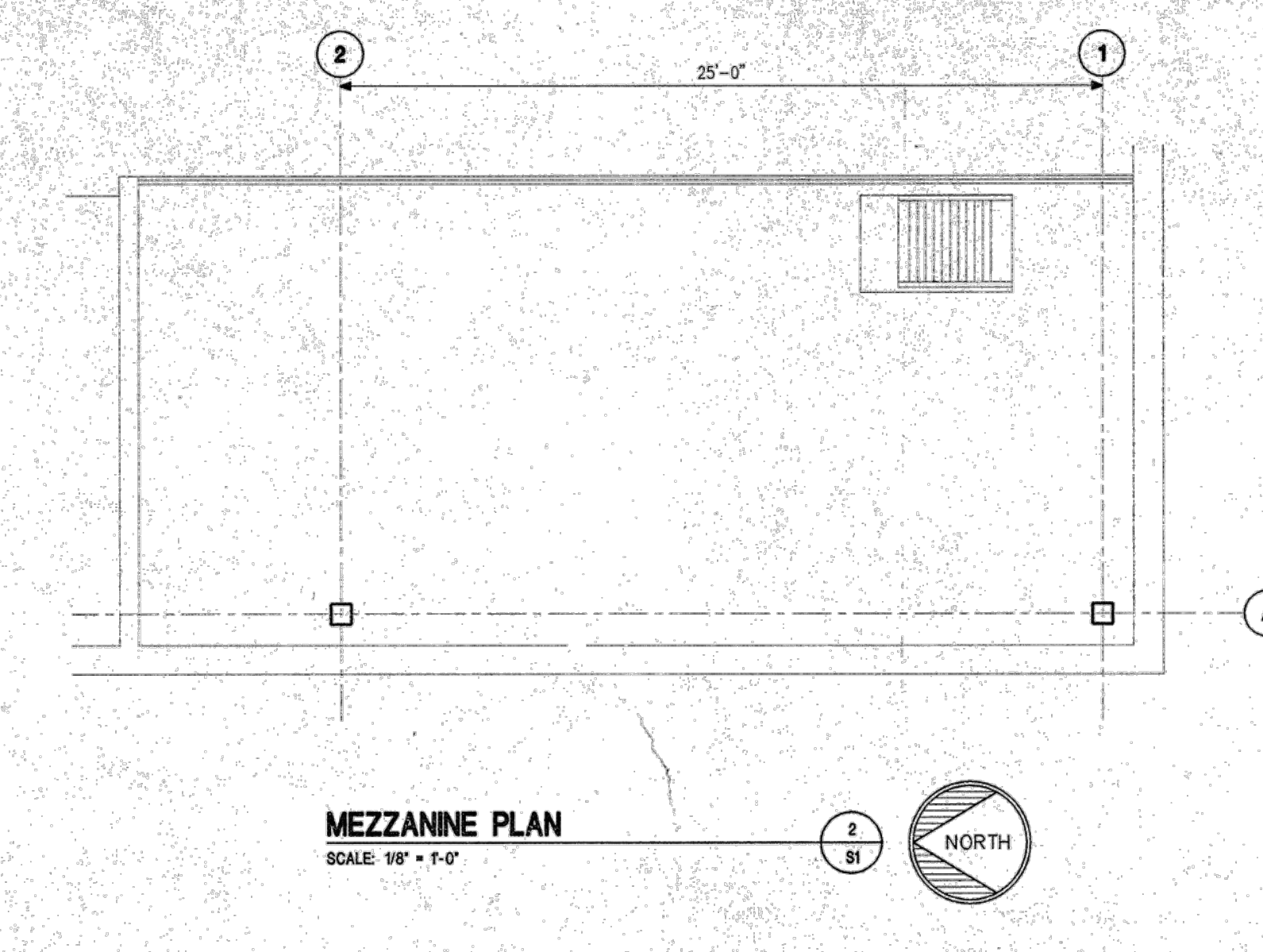
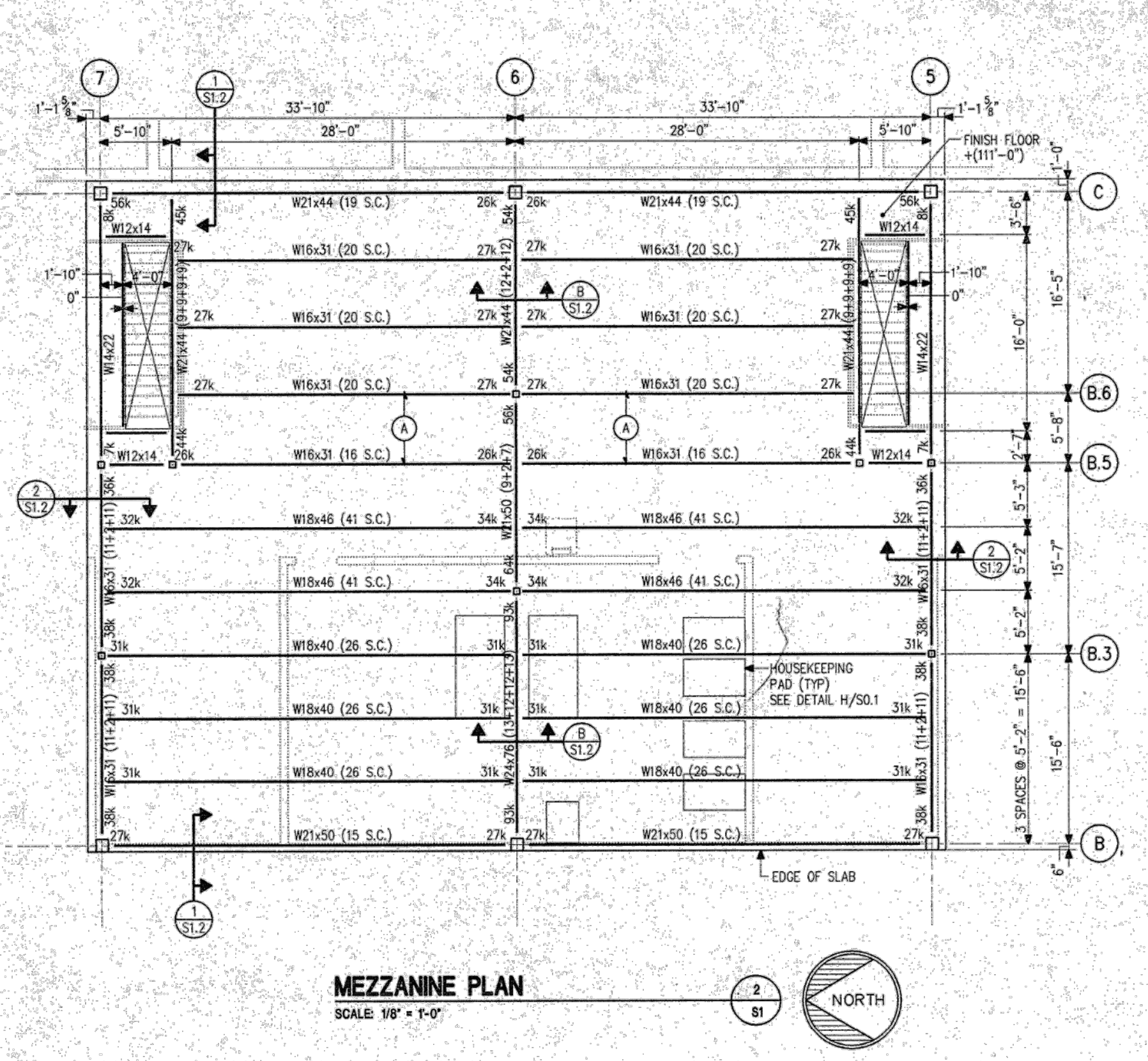
ISSUE DATE	10/17/95
DESIGN PROJECT NO.	94123
DESIGN DRAWN BY	SKP/SJS
CHECKED BY	MPB
SCALE	

**MAINTENANCE BUILDING MEZZANINE AND ROOF FRAMING PLANS**

SHEET NO.



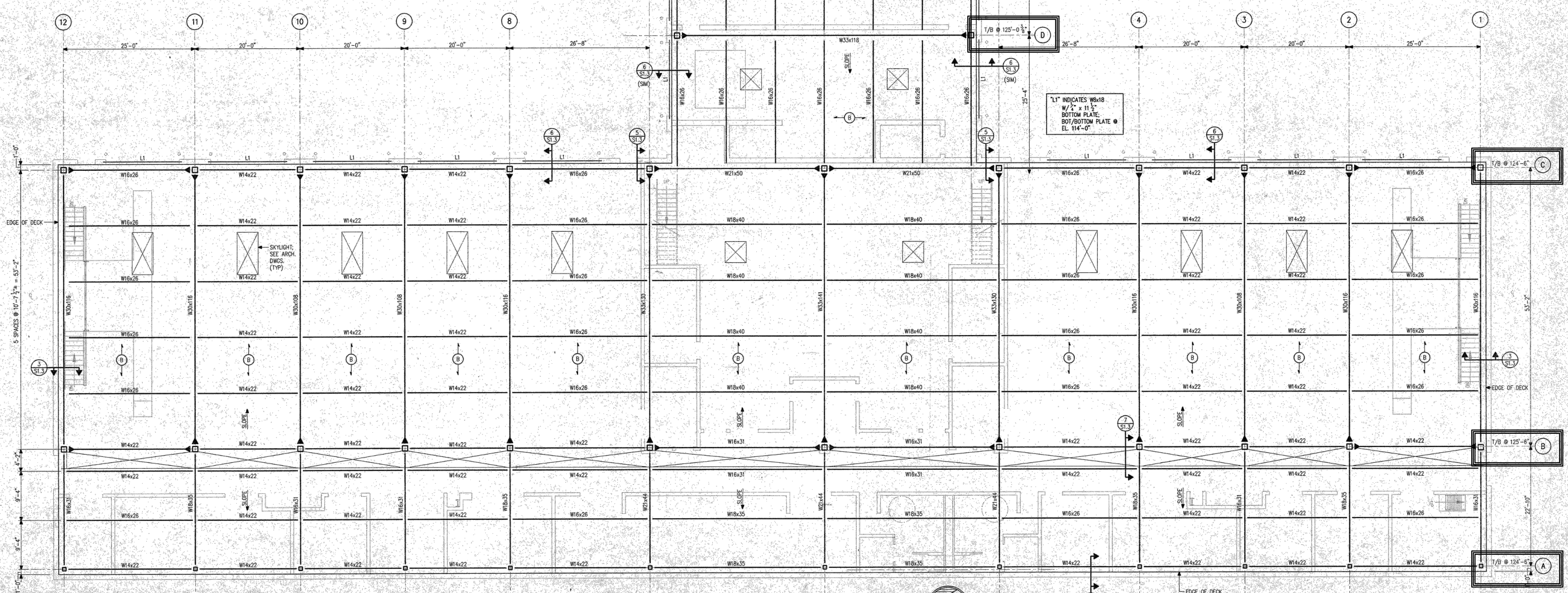
SK-1



**MEZZANINE PLAN**  
SCALE: 1/8" = 1'-0"

**MEZZANINE PLAN**  
SCALE: 1/8" = 1'-0"

NOTE:  
THIS SHEET IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY



**ROOF PLAN**  
NOT TO SCALE

**ROOF PLAN**  
NOT TO SCALE

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